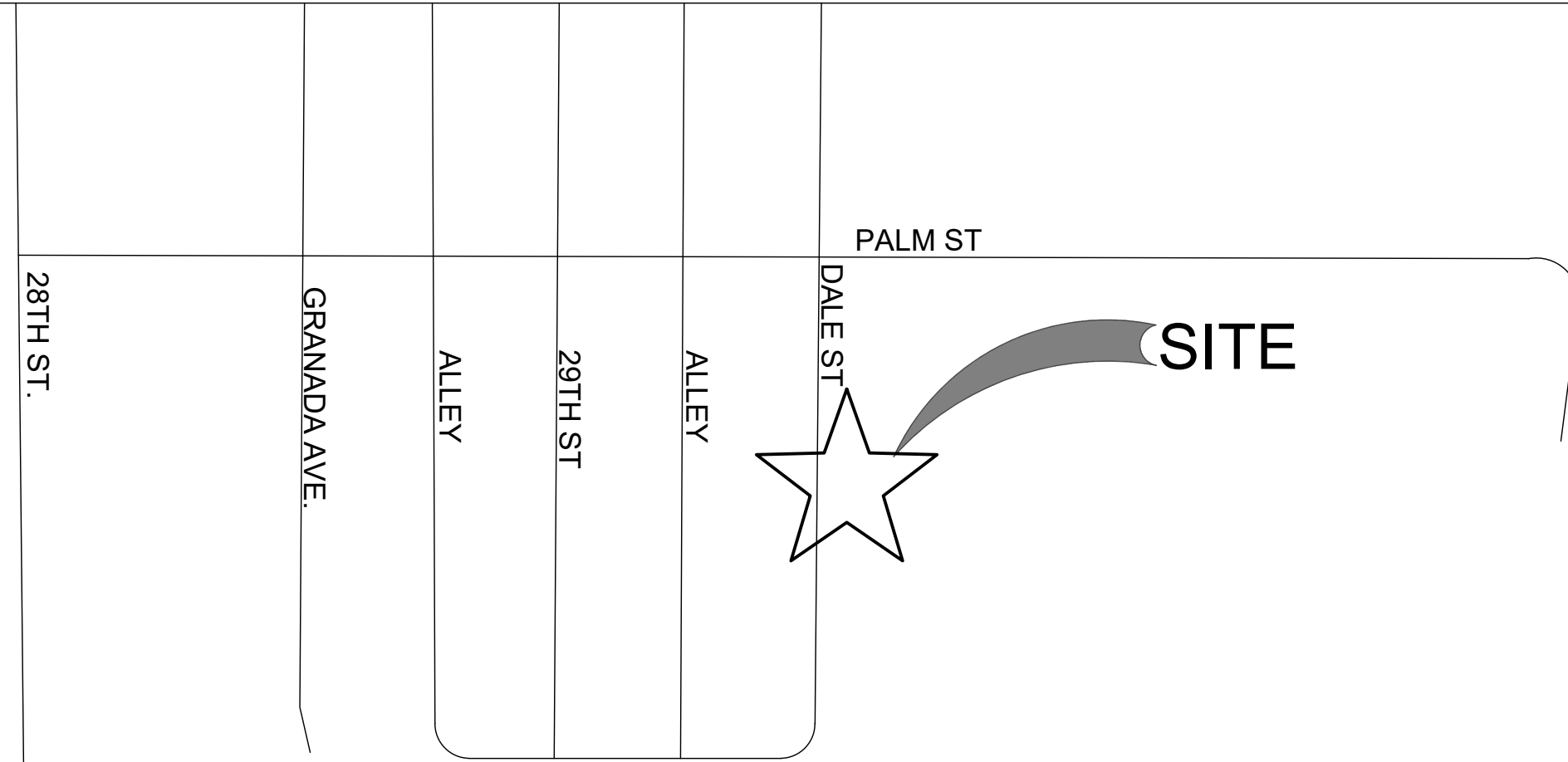


NEAGLEY RESIDENCE

VICINITY MAP



SCOPE OF WORK

REMOVE THE REAR WINDOW OF THE MASTER BEDROOM AND ADD A FRENCH DOOR, THAT WILL GO TO AN OUTSIDE DECK ON TOP OF THE NEW EXTENSION TO THE DEN BELOW W/ A NEW FULL BATH.

PROJECT DATA

APN: 453-640-07-00

LEGAL DESCRIPTION: TR 1489 LOT 21

CITY OF SAN DIEGO CODE (RS-1-7)

	EXISTING	PROPOSED
MIN. FRONT SETBACK	15'	SAME
MIN. INTERIOR SIDE SETBACK	LOT WIDTH x 0.08 = 4'	SAME
MIN. REAR SETBACK	LOT DEPTH x 0.1 = 15'-4" & 17'-4"	SAME
MAX STRUCTURE HEIGHT	26'	26'

GENERAL PLAN:	RESIDENTIAL SINGLE FAMILY
ZONING:	RS-1-7
OCCUPANCY:	RESIDENTIAL
FIRE SPRINKLERS:	NO
YEAR BUILT:	1937
CONSTRUCTION TYPE:	V-B
STORIES:	(EXISTING) 1-1/2 FLOOR (NEW) 1-1/2 FLOORS
OVERLAY(S):	STEEP HILLSIDES

NOTES

- All workmanship and materials shall conform to the requirements of the 2019 Edition of the CBC, CMC, CRC, and the CEC.
- Before any work has begun, the contractor shall make a thorough inspection of the building and site to check and verify all dimensions and conditions noting existing work to remain and notifying the owner and drafter in writing of any discrepancies between existing conditions and those shown on the construction documents.
- Any omissions, conflicts, or discrepancies between the various elements of the construction documents and/or specifications shall be brought to the attention of the owner and drafter. All work is to be coordinated so that cooperation between the trades where required is accomplished.
- Verify all openings throughout construction with all participants trades such as heating, plumbing, electrical trades for size and location; Notify owner and drafter in writing of any deviations from the construction documents.
- Follow dimensions explicitly; do not scale drawings. Confirm with Drafter before proceeding if conflict arise.
- Pool, spas, walls, fences, patio covers, and other freestanding structures require separate permit and review.
- Contractor with their selected HVAC Subcontractor to assess existing HVAC systems to determine functionality & code compliance. Make recommendations to Owner as to proposed modifications & cost. Advise Owner and Drafter if framing modifications are necessary.
- Verify & coordinate exterior hardscape, landscape & irrigation systems with owner and landscape drafter/architect.
- These plans shall comply with the:
 - 2019 California Residential Building Code
 - 2019 California Green Building Standards Code
 - 2019 California Electrical Code
 - 2019 California Plumbing Code
 - 2019 California Fire Code
 - 2019 California Building Energy Efficiency Standards
 - and Associated County of San Diego Amendments.
- This Structure will connect to an Electrical Grid, and will comply with the San Diego Lighting Ordinance.

SITE INDEX:

T-1.0 TITLE PAGE & SITE PLAN
TOPOGRAPHIC SURVEY

A-1.0 EXISTING/DEMO UPPER LEVEL PLAN
A-1.1 EXISTING/DEMO LOWER LEVEL PLAN

A-5.0 PROPOSED FIRST FLOOR PLAN
A-5.1 PROPOSED SECOND FLOOR PLAN
A-6.0 PROPOSED ROOF PLAN
A-7.0 PROPOSED ELEVATIONS
A-7.1 PROPOSED ELEVATIONS SECTIONS
A-8.0

A-10.1 ELECTRICAL PLANS

AD-1 ARCHITECTURAL DETAILS

S1 STRUCTURAL GENERAL NOTES
S2 STRUCTURAL GENERAL NOTES
S3 FOUNDATION PLAN
S4 FLOOR FRAMING PLAN
S5 FLOOR FRAMING PLAN
S6 ROOF FRAMING PLAN (FOR REFERENCE ONLY)
S7 STRUCTURAL DETAILS
S8 STRUCTURAL DETAILS
SD1 STANDARD STRUCTURAL DETAILS
SD2 STANDARD STRUCTURAL DETAILS

PROJECT TEAM

OWNER:

JOHN NEAGLEY
2747 Dale Street
San Diego, CA 92104
619.756.8370
neaglejip@gmail.com

GENERAL CONTRACTOR:

Eco-Minded Solutions, Inc.
LIC: B-948204
9466 Black Mountain Rd, #210
San Diego, CA 92126
(858) 779 - 1225
www.ecomindedsolutions.com

DESIGNER:

Eco-Minded Solutions, Inc.
LIC: B-948204
ATTN: Dave Eslinger
9466 Black Mountain Rd, #210
San Diego, CA 92126
(858) 201-9021
david@ecomindedsolutions.com

STRUCTURAL ENGINEER:

LOVELACE ENGINEERING
5930 Cornerstone Ct W
San Diego, CA 92121.
PH: 858.535.9111
LIC# C 39734

CIVIL ENGINEER:

COASTAL LAND SOLUTIONS INC.
573 2nd ST.
ENCINITAS CA, 92024
PH: 760.230.2459

AREA CALCULATIONS

EXISTING HABITABLE AREA:

EXISTING UPPER LEVEL: 1,049 SQ. FT.
PROPOSED DEN @ LOWER LEVEL: 255 SQ. FT.

TOTAL HABITABLE 1,304 SQ. FT.

EXISTING NON-HABITABLE:

GARAGE 209 SQ. FT.

STORAGE/BASEMENT 157 SQ. FT.

PROPOSED NON-HABITABLE:
ROOF DECK: 199 SQ. FT.

LOWER LEVEL DECK: 92 SQ. FT.

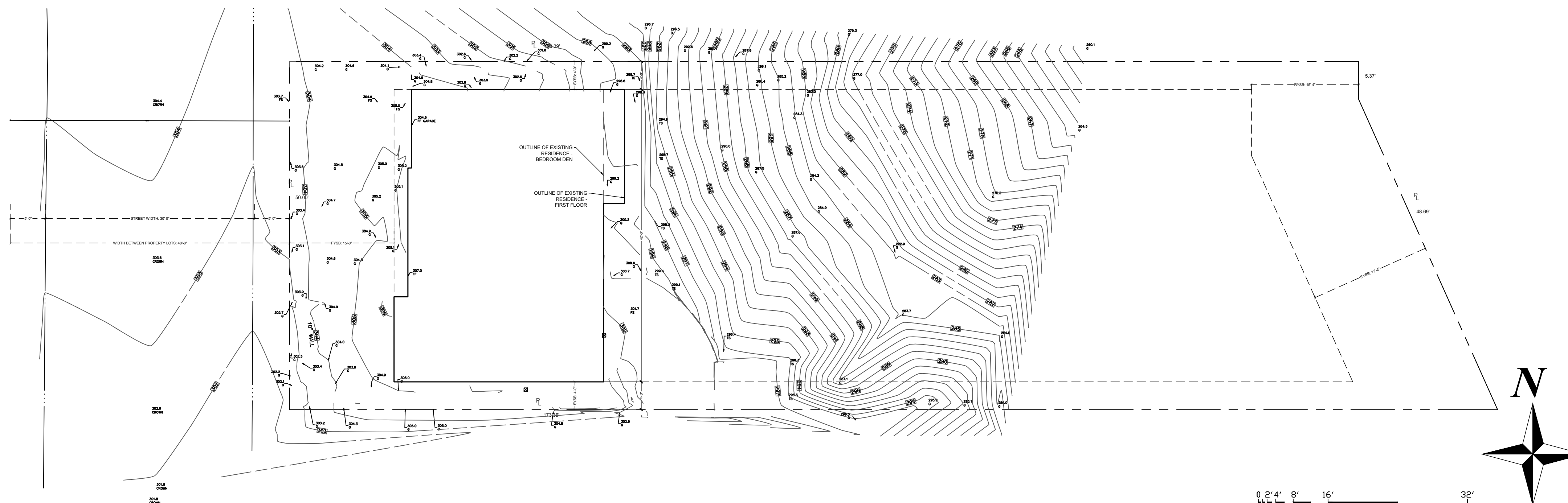
TOTAL NON-HABITABLE 657 SQ. FT.

FAR CALCULATION

LOT AREA= 8,115 SQ. FT. FAR: .56%

8,115 SQ. FT. x .56= 4,544.4 SQ. FT. ALLOWABLE

1,670 SQ. FT. PROVIDED



SITE PLAN

SCALE:
1"=10'-0"

TITLE PAGE



DESIGNED BY: Dave Eslinger

Signature: _____

9530 PADGETT STREET, SUITE 109
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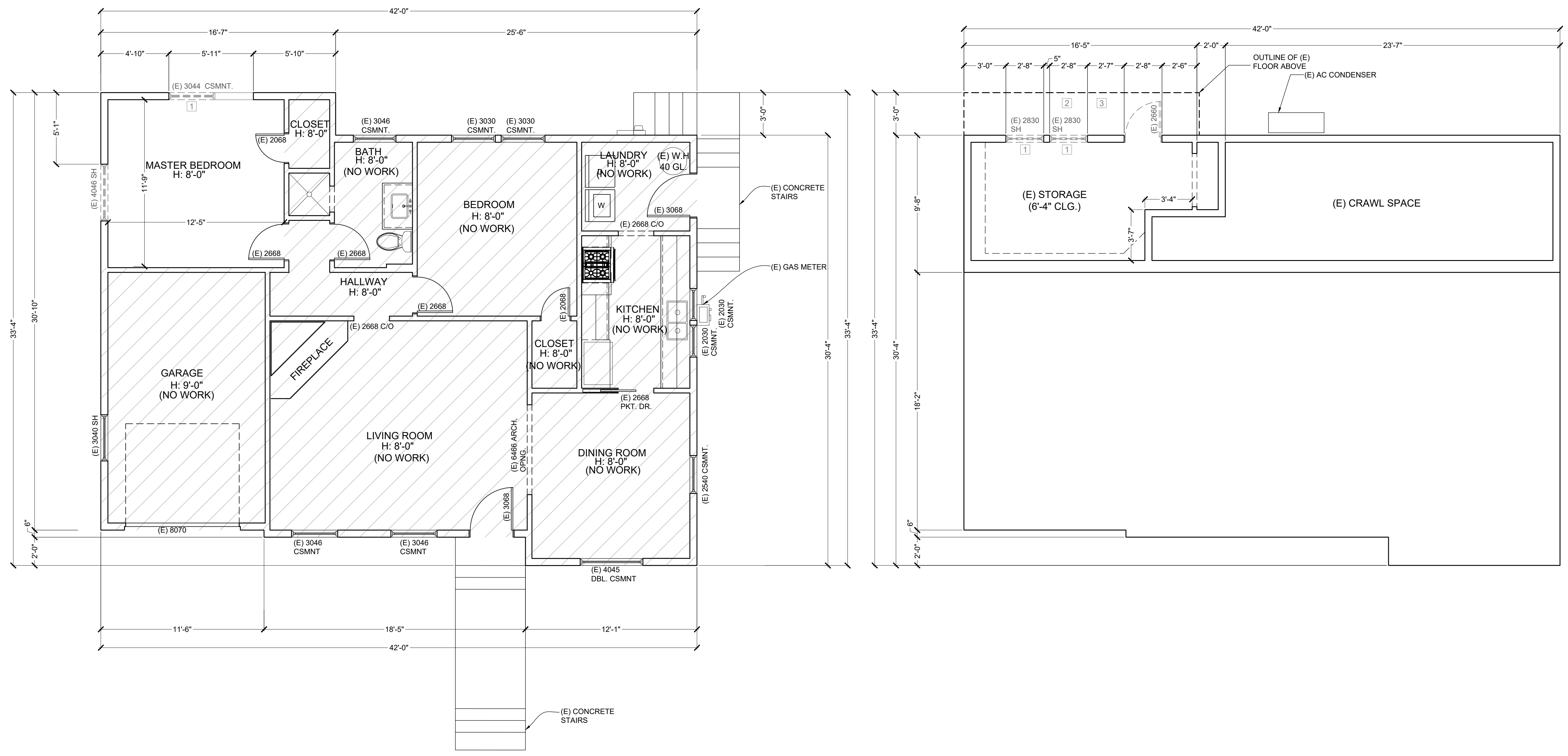
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CONCEPT A	04.30.2020
ESTIMATING SET	07.08.2020

SHEET SCALE: AS NOTED
DRAWN BY: AT
EMS PROJECT NUMBER:

SHEET NAME:
TITLE PAGE
& SITE PLAN

SHEET NUMBER:

T-1.0



NOTES

DEMO KEYNOTES:

1. DEMO WINDOWS
2. EXCAVATE GROUND TO NEW ELEVATION-SEE SHEETS A-7.0 & A-7.1
3. REMOVE STUCCO LID

WALL LEGEND

- EXISTING 2x STUD WALL TO REMAIN
- NEW 2x4 STUD WALL FRAMED @ 16" O.C.
- NEW 2x6 STUD WALL FRAMED @ 16" O.C.
- EXISTING WALL TO BE REMOVED

**E C O
MINDED
SOLUTIONS**

LICENSE NUMBER: B-948204



DESIGNED BY: Dave Estinger

Signature: _____

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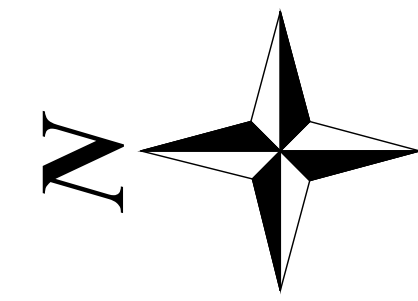
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**SHEET NAME:
EXIST./DEMO
FLOOR PLANS**

SHEET NUMBER:

A-1.0



NOTES

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M I N D E D
S O L U T I O N S**

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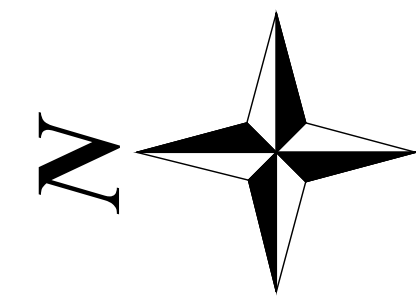
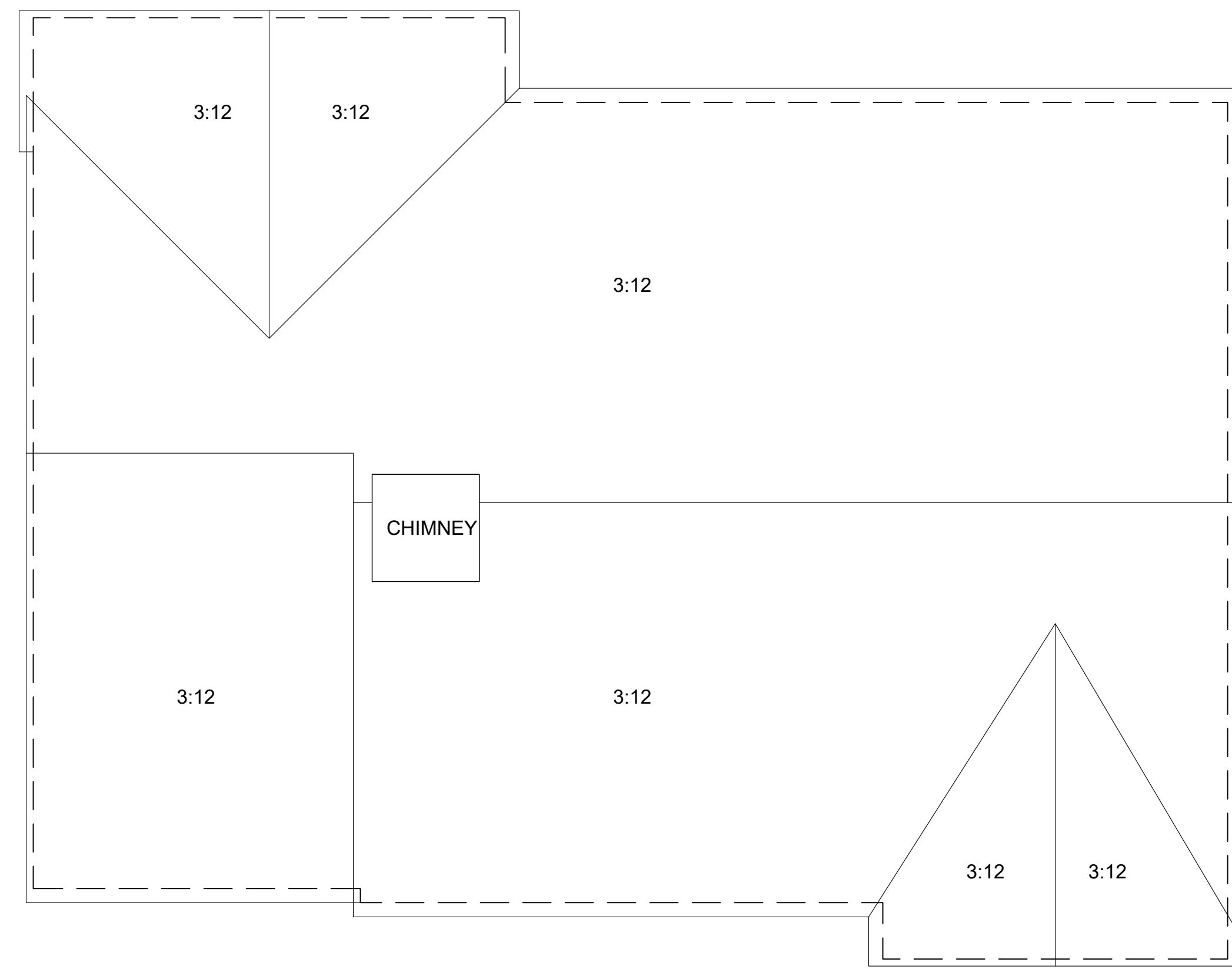
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**SHEET NAME:
EXISTING
ROOF PLAN**

SHEET NUMBER:

A-2.0

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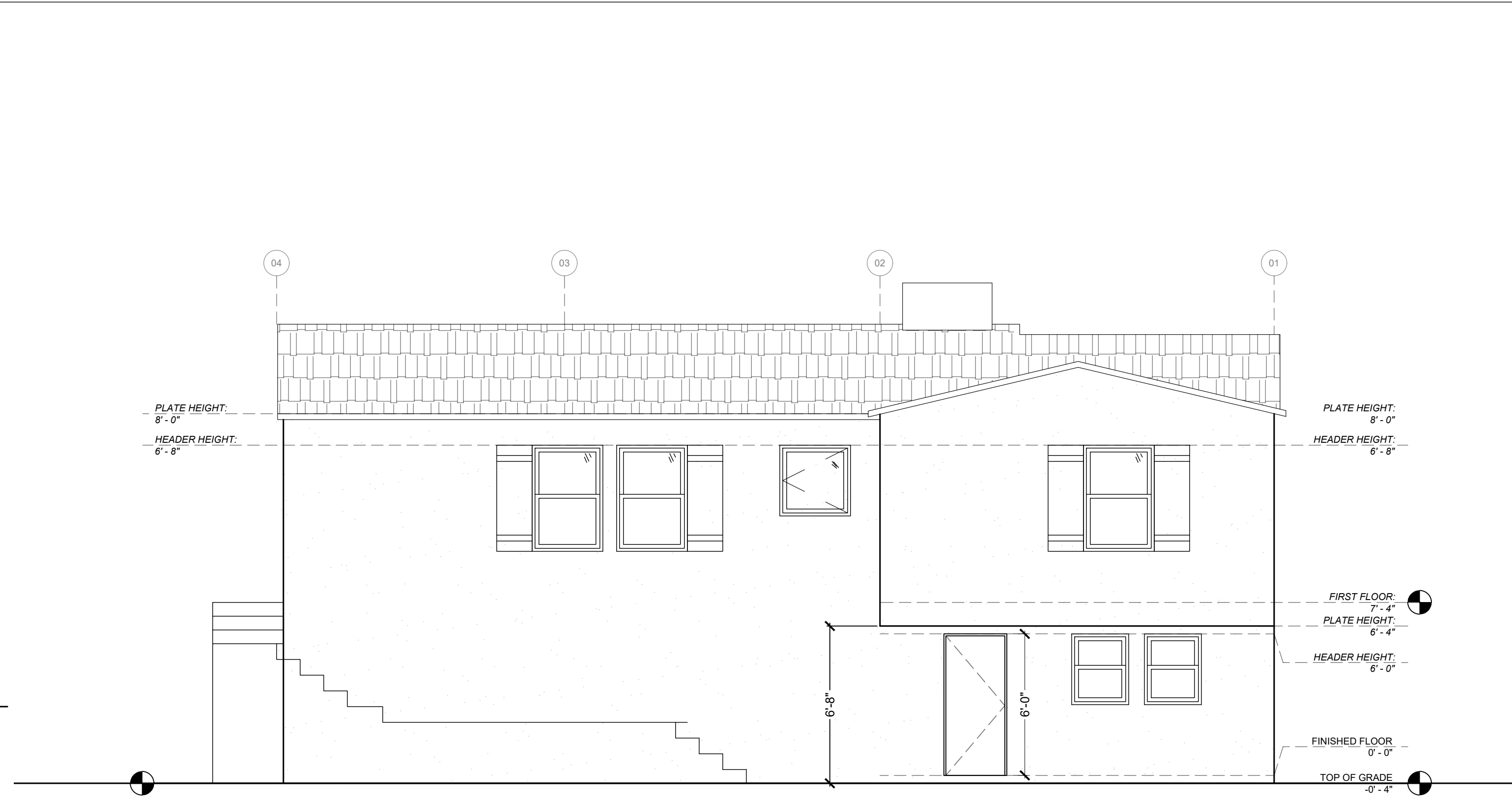
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**EXISTING
ELEVATIONS**

SHEET NUMBER:

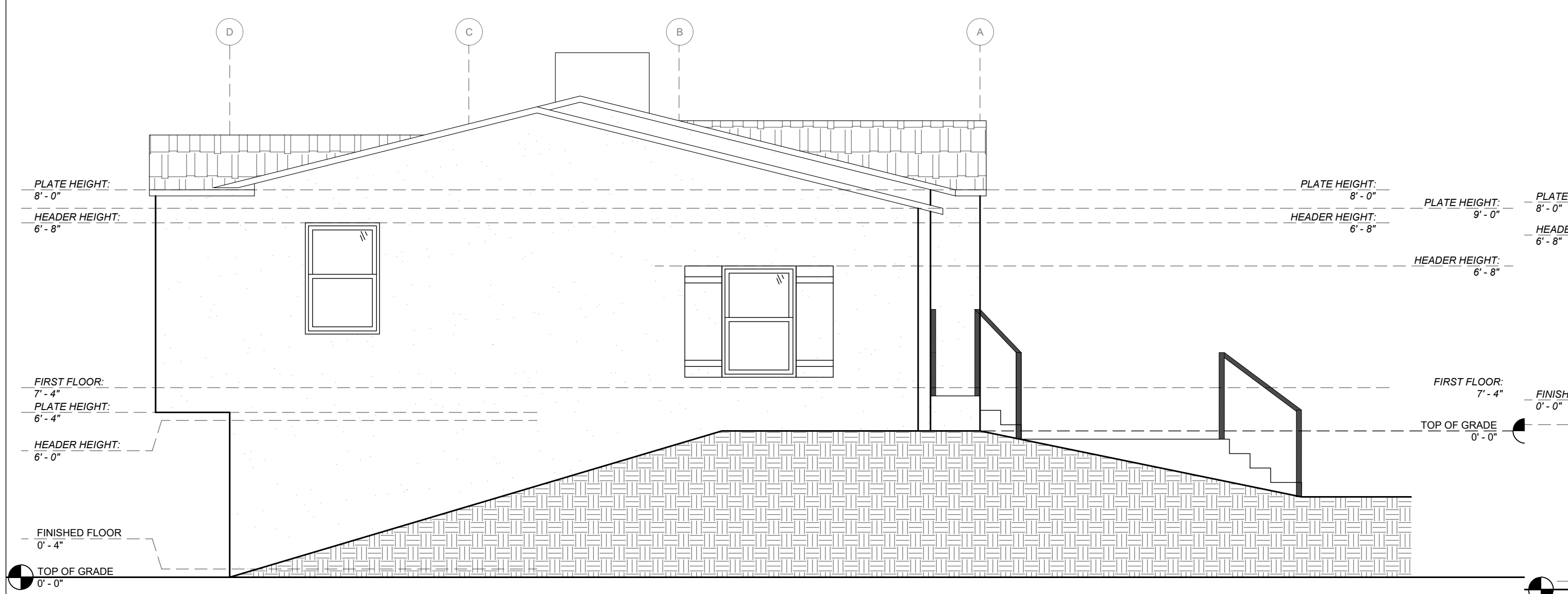
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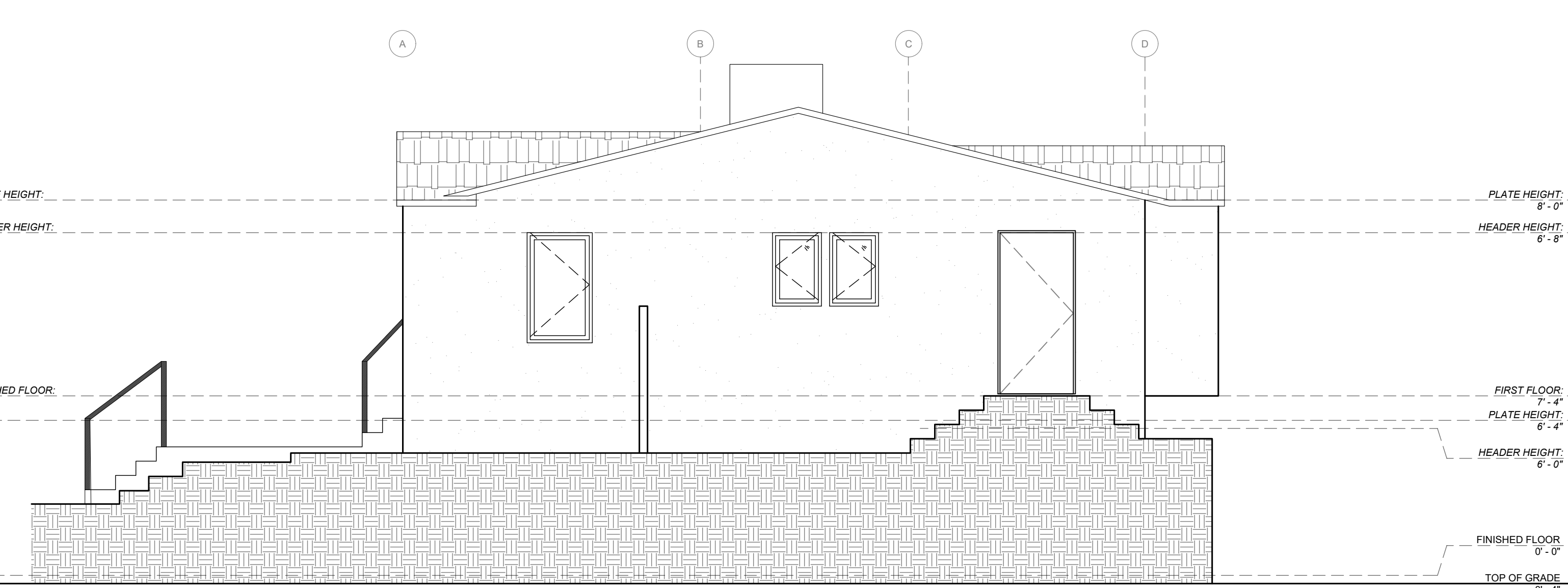
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

EXISTING ELEVATIONS PLAN SCALE
1/4" = 1'-0"

DOOR SCHEDULE								
NO.	DOOR SIZE (WXH)	GLAZING	LOCATION	STYLE/TYPE	TEMP.	U-FACTOR	SHGC	NOTES
1	5'-0" x 6'-8"	33.3 SF	FIRST FLOOR MASTER BEDROOM	THERMATRU BLACK FIBERGLASS SINGLE LITE, FRENCH DOOR	X			(N)
2	5'-0" x 6'-8"	33.3 SF	BASEMENT NEW DEN	THERMATRU BLACK FIBERGLASS SINGLE LITE, FRENCH DOOR	X			(N)
3	2'-6" x 6'-8"	--	BASEMENT BATH	SLAB, PAINT GRADE HOLLOW CORE, POCKET DOOR				(N)
4	2'-6" x 6'-8"	--	BASEMENT WALK-IN CLOSET	SLAB, PAINT GRADE HOLLOW CORE, INTERIOR DOOR POCKET				(N)
5	2'-6" x 6'-0"	--	BASEMENT STORAGE	SLAB, PAINT GRADE HOLLOW CORE, INTERIOR DOOR				PREVIOUSLY EXTERIOR DOOR

WINDOW SCHEDULE								
NO.	WINDOW SIZE (WXH)	GLAZING	LOCATION	STYLE/TYPE	TEMP.	U-FACTOR	SHGC	NOTES
A	3'-10"x3'-0"	11.49 SF	BASEMENT DEN	SLIDER (ANDERSEN WINDOW) (T.M.E)	--			
B	2'-6"x3'-0"	7.5 SF	BASEMENT DEN	SINGLE HUNG (ANDERSEN WINDOW) (T.M.E)	--			
C	2'-6"x3'-0"	7.5 SF	BASEMENT DEN	SINGLE HUNG (ANDERSEN WINDOW) (T.M.E)	--			
D	1'-6"x3'-0"	4.5 SF	BASEMENT BATH	SINGLE HUNG (ANDERSEN WINDOW) (T.M.E)	X			

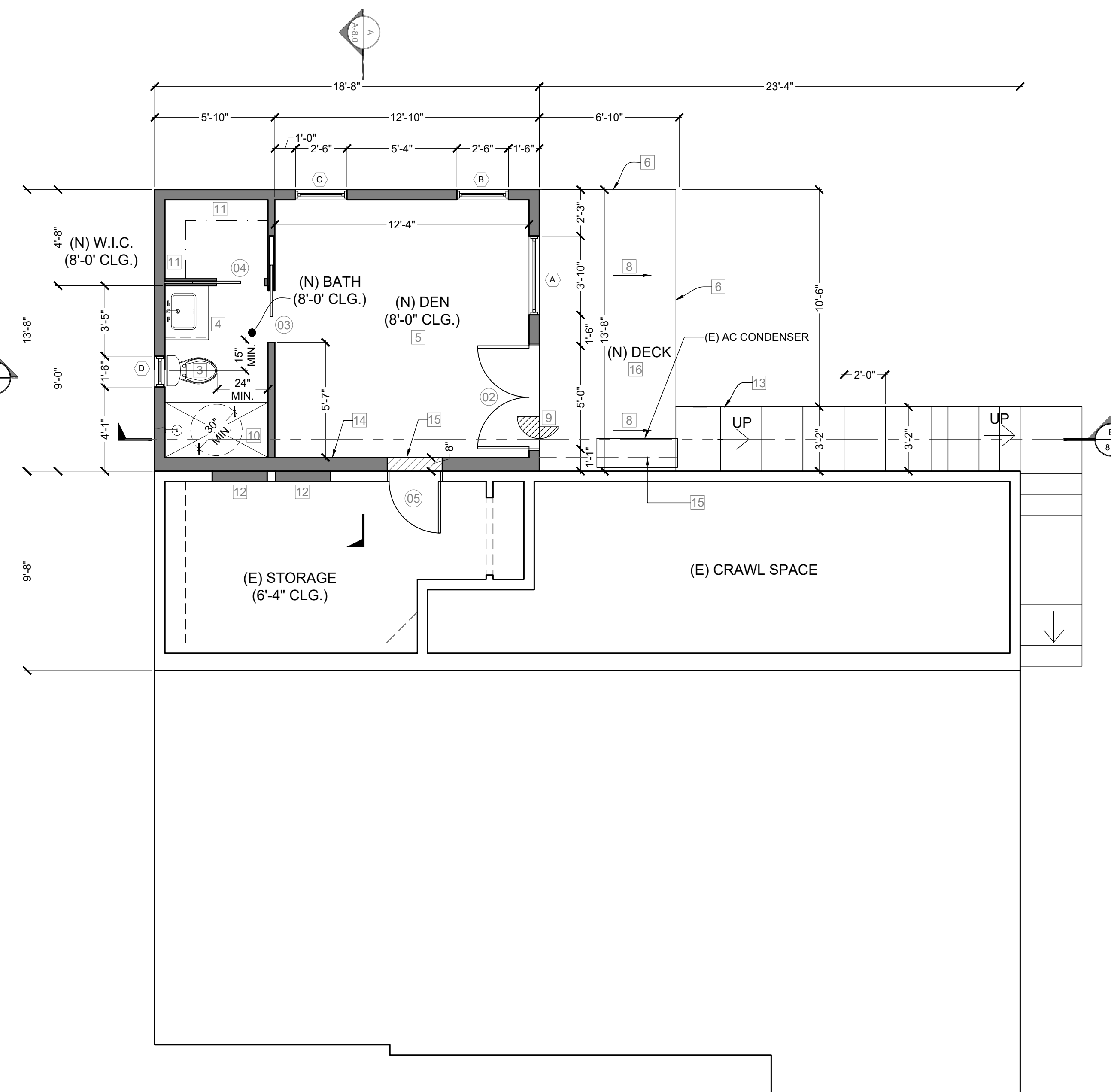
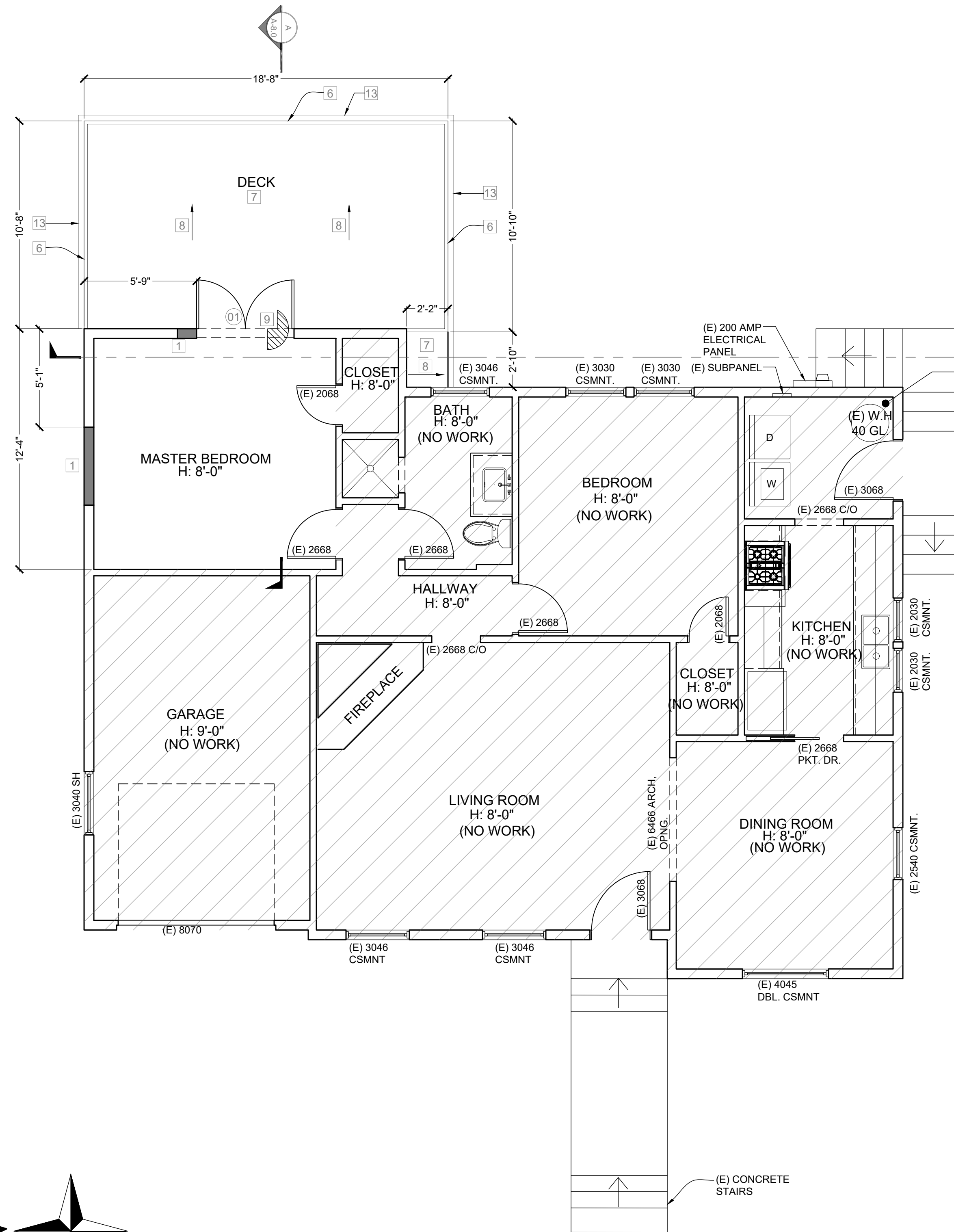
NOTES

PROPOSED KEYNOTES:

- INFILL WINDOW OPENING W/ 2x FRAMING
- SHOWER W/ GLASS DOOR TEMP.
- LOW FLUSH TOILET
- VANITY SINK 32"x26"
- FLOORING
- 42" HIGH METAL RAILING
- DEX-O-TEX (ESR-1757)
- 1/4" SLOPE
- 1.5" MIN.-7.75" MAX-DN TO DECK
- 32"x60" SHOWER
- (2) SHELF AND (2) POLE
- NEW CONCRETE STEPS
- METAL GUTTER PER ELEVATIONS
- FURR OUT WALL TO COVER RETAINING WALL BELOW
- RETAINING WALL PER STRUCTURAL
- TREX DECKING (ESR-3168) ON TOP OF 2x FRAMING

WALL LEGEND

- EXISTING 2x STUD WALL TO REMAIN
- NEW 2x4 STUD WALL FRAMED @ 16" O.C.
- NEW 2x6 STUD WALL FRAMED @ 16" O.C.
- EXISTING WALL TO BE REMOVED



DESIGNED BY: Dave Eslinger

Signature: _____

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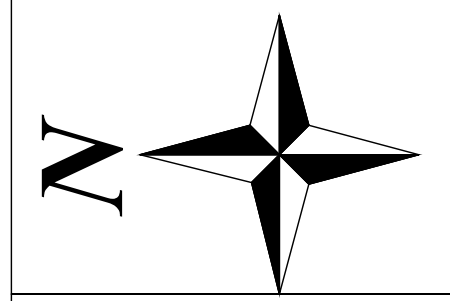
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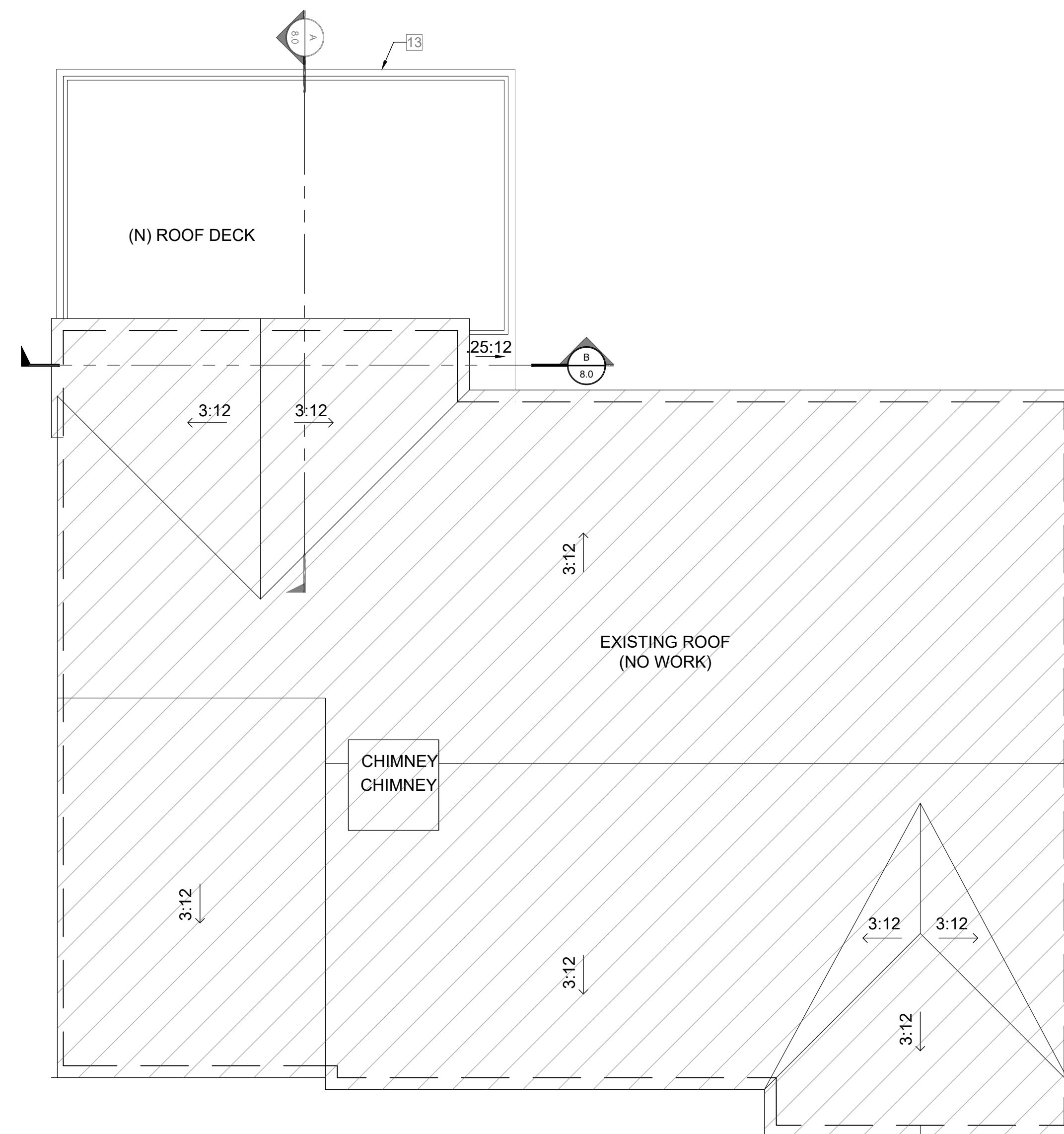
SHEET NAME:
PROPOSED FLOOR PLANS

SHEET NUMBER:

A-5.0

PROPOSED 1ST FLOOR & BASEMENT PLAN PLAN SCALE 1/4" = 1' - 0"





NOTES

PROPOSED KEYNOTES:

1. INFILL WINDOW OPENING W/ 2x FRAMING
2. SHOWER W/ GLASS DOOR TEMP
3. LOW FLUSH TOILET
4. VANITY SINK 32"x26"
5. FLOORING
6. 42" HIGH METAL RAILING
7. DEX-O-TEX (ESR-1757)
8. 1/2" SLOPE
9. 1.5" MIN. -7.75" MAX-DN TO DECK
10. 32"x60" SHOWER
11. (2) SHELF AND (2) POLE
12. NEW CONCRETE STEPS
13. METAL GUTTER PER ELEVATIONS
14. FURR OUT WALL TO COVER RETAINING WALL BELOW
15. RETAINING WALL PER STRUCTURAL
16. TREX DECKING (ESR-3168) ON TOP OF 2x FRAMING

**E C O
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S O L U T I O N S**

LICENSE NUMBER: B-948204



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Signature: _____

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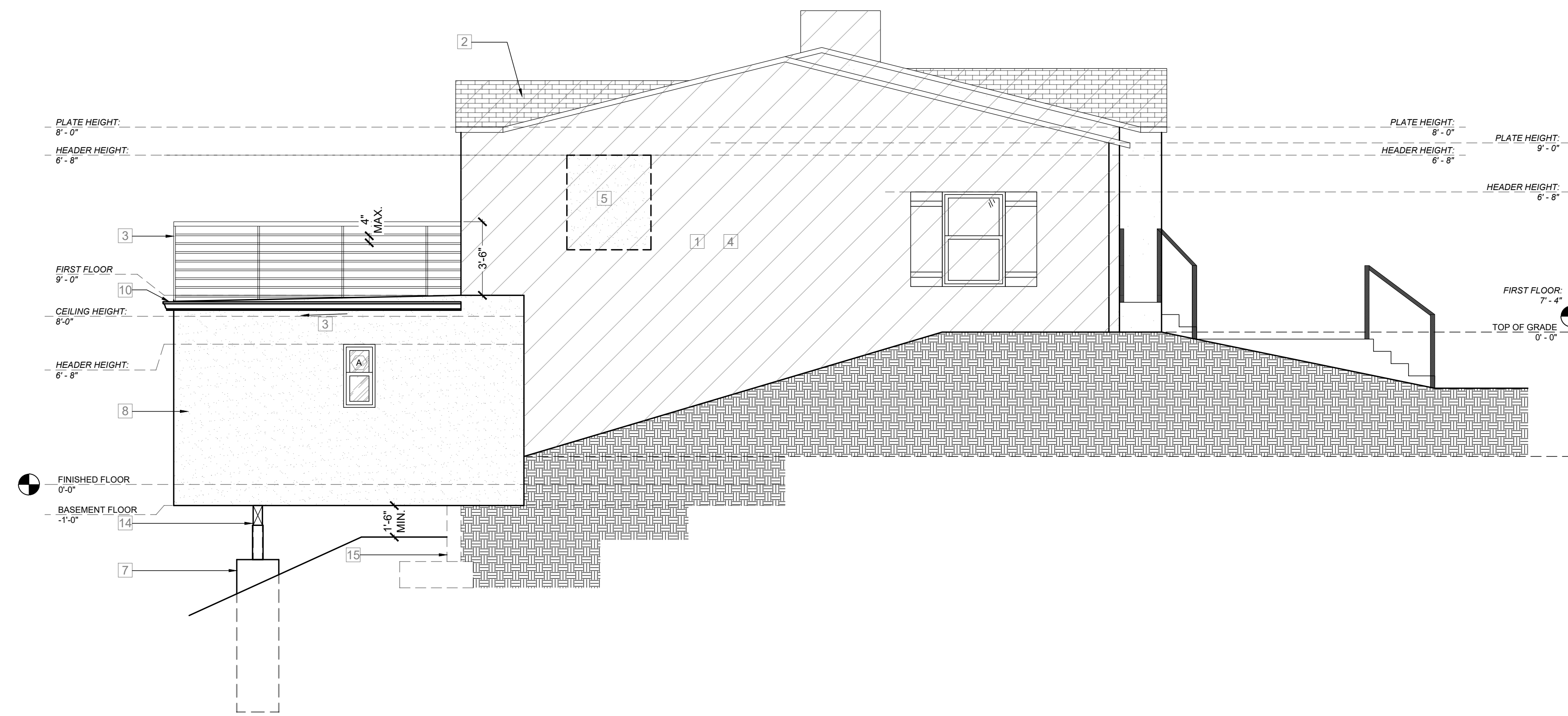
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PROPOSED
ROOF PLAN**

SHEET NUMBER:

A-6.0

PROPOSED ROOF PLAN

**PLAN SCALE
1/4" = 1' - 0"**



NORTH ELEVATION

KEYNOTES FOR ELEVATIONS:

1. EXISTING STUCCO
2. EXISTING CLASS
"A" ASPHALT SHINGLES
3. NEW 42" HIGH METAL RAILING
4. DIAGONAL LINES DENOTE EXISTING SFR
5. INFILL OPENING WITH 2x FRAMING W/ STUCCO TO MATCH EXISTING HOUSE AS CLOSE AS POSSIBLE
6. EXTERIOR LIGHT FIXTURE BY OWNER
7. CAISSONS BY STRUCTURAL PLANS
8. (N) 7/8" EXTERIOR CEMENT PLASTER FINISH O/ 2 LAYERS OF GRADE "D" (COLOR TO MATCH EXISTING HOUSE AS CLOSE AS POSSIBLE)
9. 1/4" SLOPE
10. ALUMINUM GUTTER
11. EXISTING CONCRETE STEPS
12. WOOD TRIM TO MATCH EXISTING HOUSE AS CLOSE AS POSSIBLE
13. WINDOWS WITH GRIDS TO MATCH EXISTING HOUSE
14. BEAM PER STRUCTURAL
15. RETAINING WALL PER STRUCTURAL
16. NOT USED
17. NOT USED
18. 2x4 STUDS @ 16" O.C. W/ R-13 INSULATION PER T-24
19. 2x12 FJ @ 16" O.C. W/ R-19 INSULATION PER T-24
20. 2x10 DECK JOISTS NOTCHED TO SLOPE W/ R-19 INSULATION PER T-24
21. 1/2" GYP. BOARD
22. DEX-O-TEX (ESR-1757)
23. FURR OUT 2x STUD WALL ON TOP OF (N) RETAINING WALL
24. (E) FLOOR JOISTS W/ R-19 INSULATION
25. TREX DECKING (ESR-3168) ON TOP OF 2x FRAMING
26. (N) STEPS
27. LIGHT FIXTURE PER OWNER

**E C O
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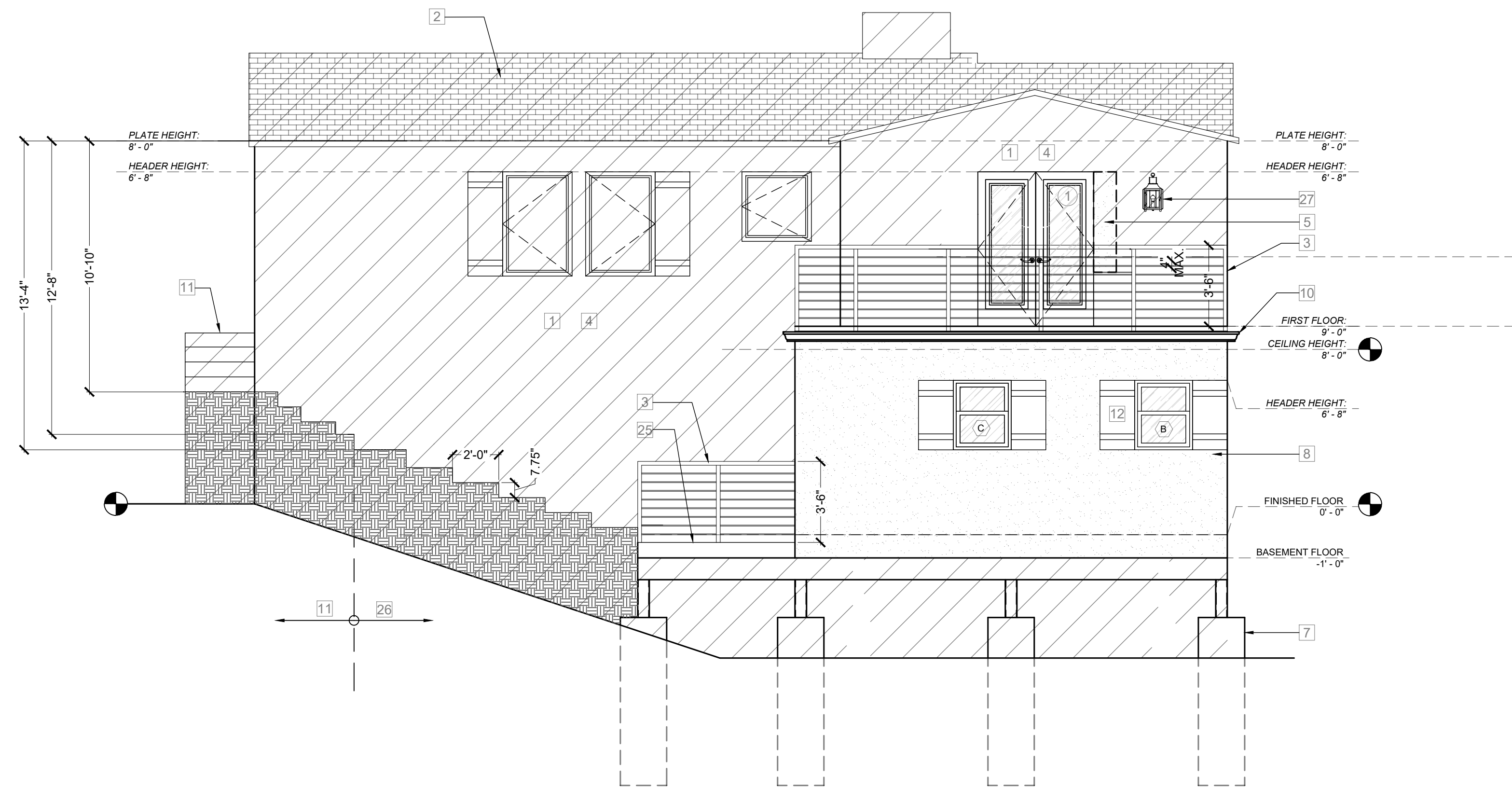
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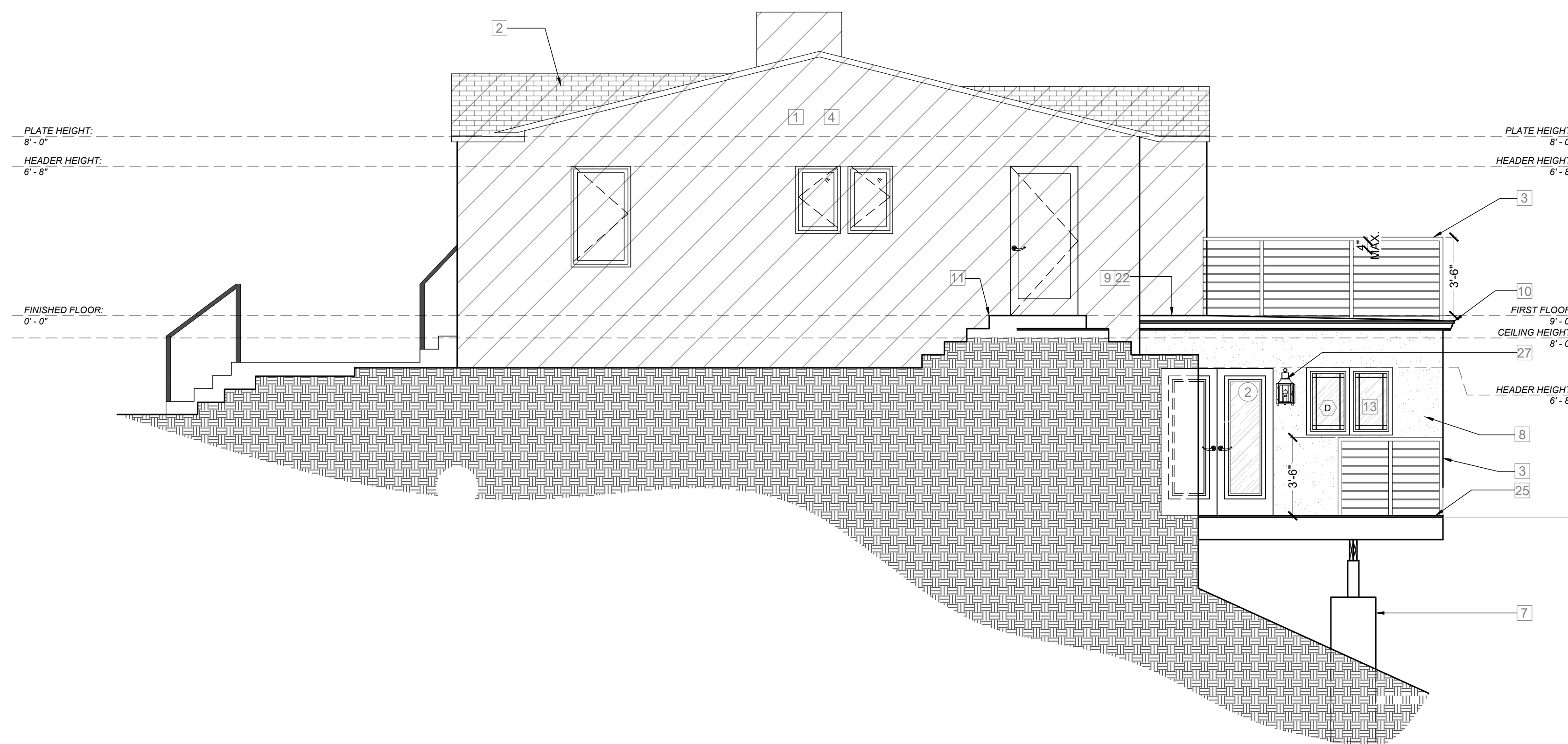
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**PROPOSED
ELEVATIONS**

SHEET NUMBER:

A-7.0



EAST ELEVATION



SOUTH ELEVATION PROPOSED ELEVATIONS

KEYNOTES FOR ELEVATIONS:

1. EXISTING STUCCO
2. EXISTING CLASS
"A" ASPHALT SHINGLES
3. NEW 42" HIGH METAL RAILING
EXISTING HOUSE
AS CLOSE AS POSSIBLE
4. DIAGONAL LINES DENOTE EXISTING
SFR
5. INFILL OPENING WITH 2x FRAMING
W/ STUCCO TO MATCH
EXISTING HOUSE
6. EXTERIOR LIGHT FIXTURE BY
OWNER
7. CAISSONS BY STRUCTURAL PLANS
8. (N) 7/8" EXTERIOR CEMENT PLASTER
FINISH O/ 2 LAYERS OF GRADE "D"
(COLOR TO MATCH EXISTING HOUSE
AS CLOSE AS POSSIBLE)
9. 1/4" SLOPE
10. ALUMINUM GUTTER
11. EXISTING CONCRETE STEPS
12. WOOD TRIM TO MATCH EXISTING
HOUSE AS CLOSE AS POSSIBLE
13. WINDOWS WITH GRIDS TO MATCH
EXISTING HOUSE
14. BEAM PER STRUCTURAL
15. RETAINING WALL PER STRUCTURAL
16. NOT USED
17. NOT USED
18. 2x4 STUDS @ 16" O.C. W/ R-13
INSULATION PER T-24
19. 2x12 FJ @ 16" O.C. W/ R-19
INSULATION PER T-24
20. 2x10 DECK JOISTS NOTCHED TO
SLOPE W/ R-19 INSULATION PER T-24
21. 1/2" GYP. BOARD
22. DEX-O-TEX (ESR-1757)
23. FURR OUT 2x STUD WALL ON TOP OF
(N) RETAINING WALL
24. (E) FLOOR JOISTS W/ R-19
INSULATION
25. TREX DECKING (ESR-3168) ON TOP
OF 2x FRAMING
26. (N) STEPS
27. LIGHT FIXTURE PER OWNER

DESIGNED BY: Dave Eslinger

Signature: _____

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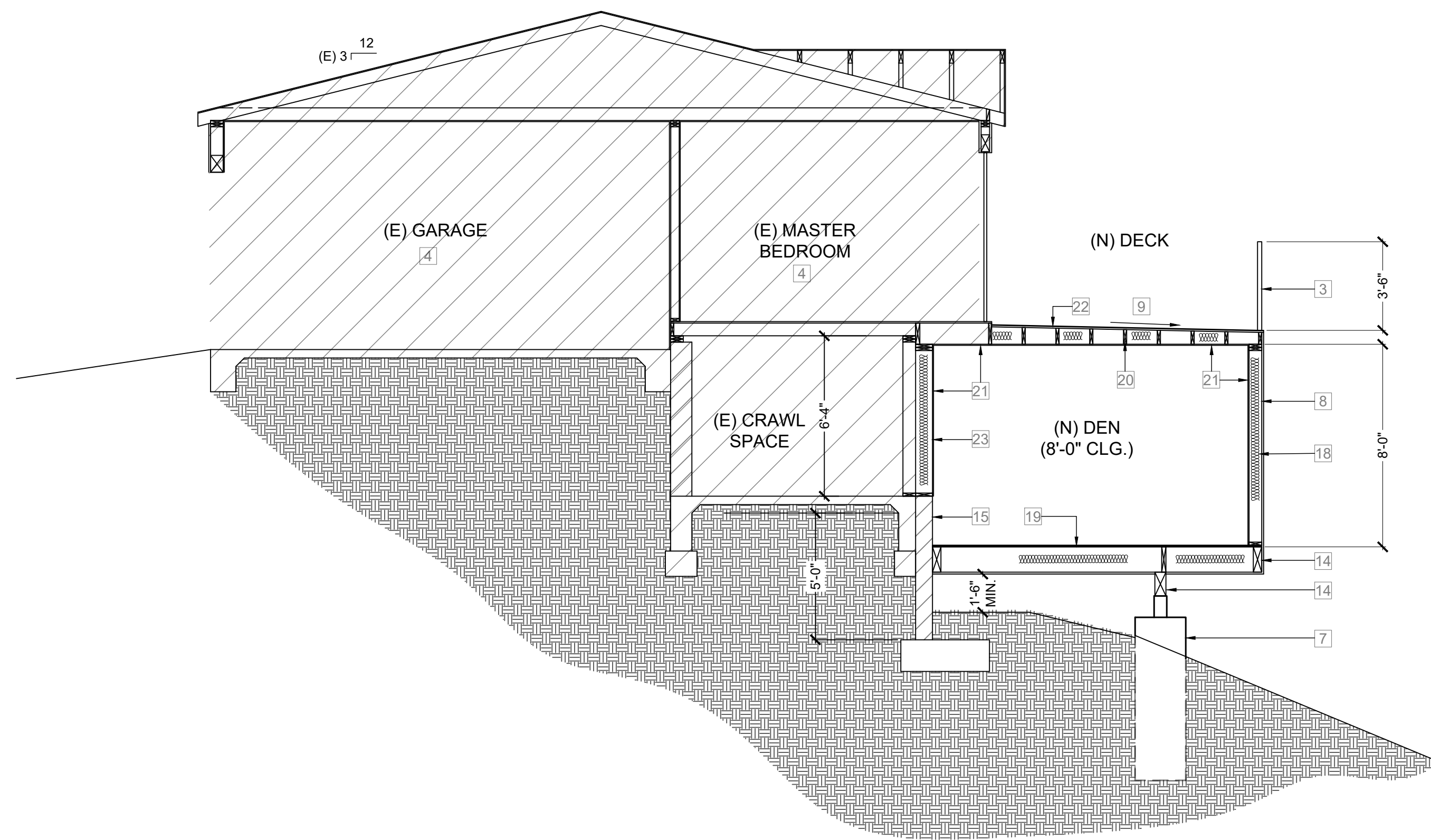
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SHEET NAME:
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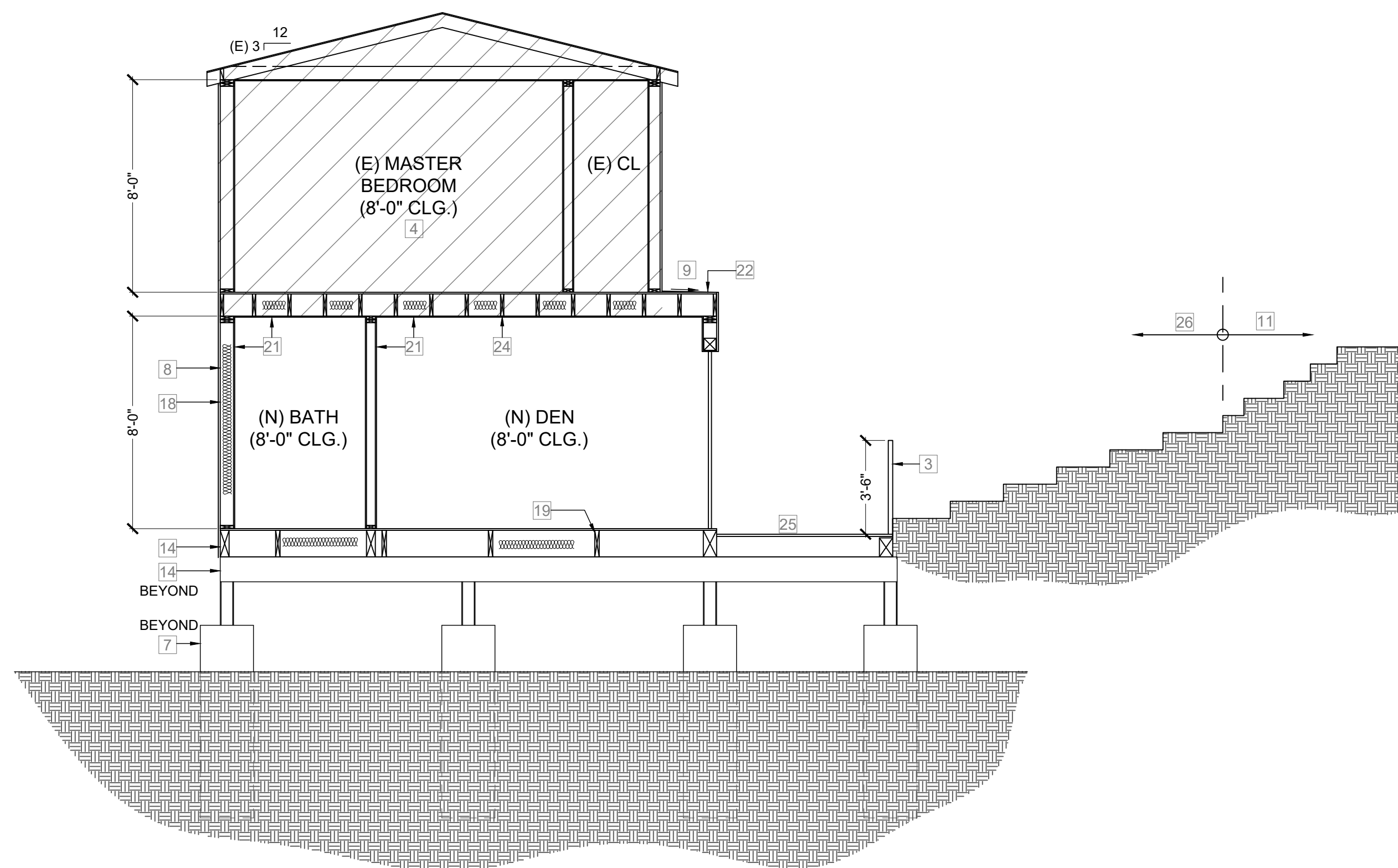
SHEET NUMBER:

A-7.1

PLAN SCALE
1/4" = 1'-0"



SECTION A



SECTION B

PROPOSED SECTIONS

KEYNOTES FOR ELEVATIONS:

1. EXISTING STUCCO
2. EXISTING CLASS
"A" ASPHALT SHINGLES
3. NEW 42" HIGH METAL RAILING
4. DIAGONAL LINES DENOTE EXISTING SFR
5. INFILL OPENING WITH 2x FRAMING W/ STUCCO TO MATCH EXISTING HOUSE AS CLOSE AS POSSIBLE
6. EXTERIOR LIGHT FIXTURE BY OWNER
7. CAISSONS BY STRUCTURAL PLANS
8. (N) 7/8" EXTERIOR CEMENT PLASTER FINISH O/ 2 LAYERS OF GRADE "D" (COLOR TO MATCH EXISTING HOUSE AS CLOSE AS POSSIBLE)
9. 1/4" SLOPE
10. ALUMINUM GUTTER
11. EXISTING CONCRETE STEPS
12. WOOD TRIM TO MATCH EXISTING HOUSE AS CLOSE AS POSSIBLE
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25. TREX DECKING (ESR-3168) ON TOP OF 2x FRAMING
26. (N) STEPS
27. LIGHT FIXTURE PER OWNER

**E C O
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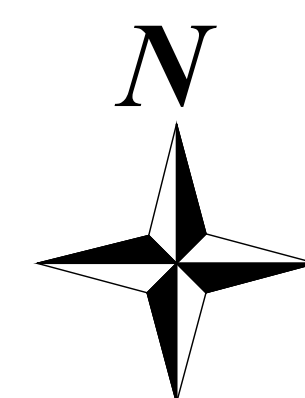
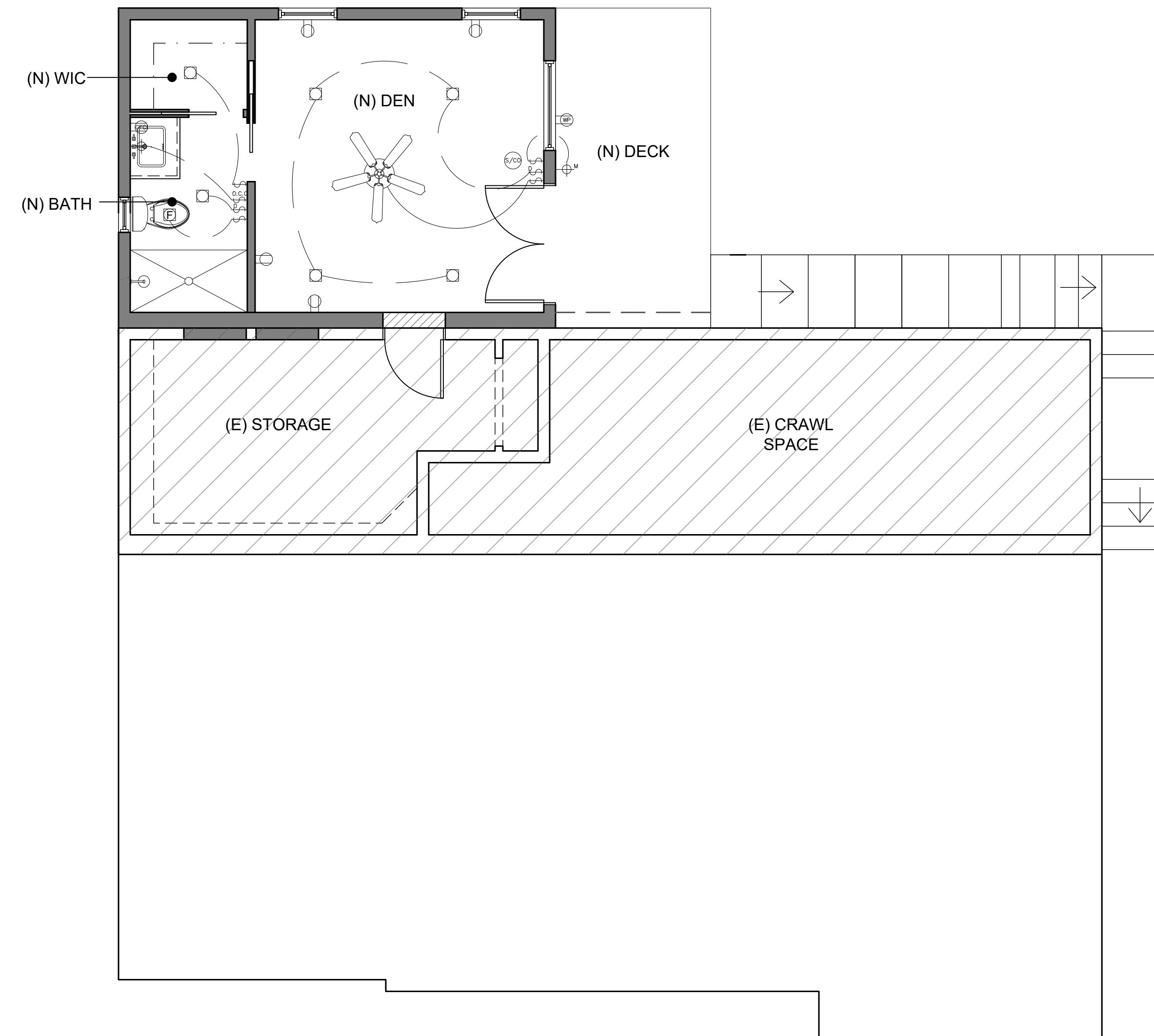
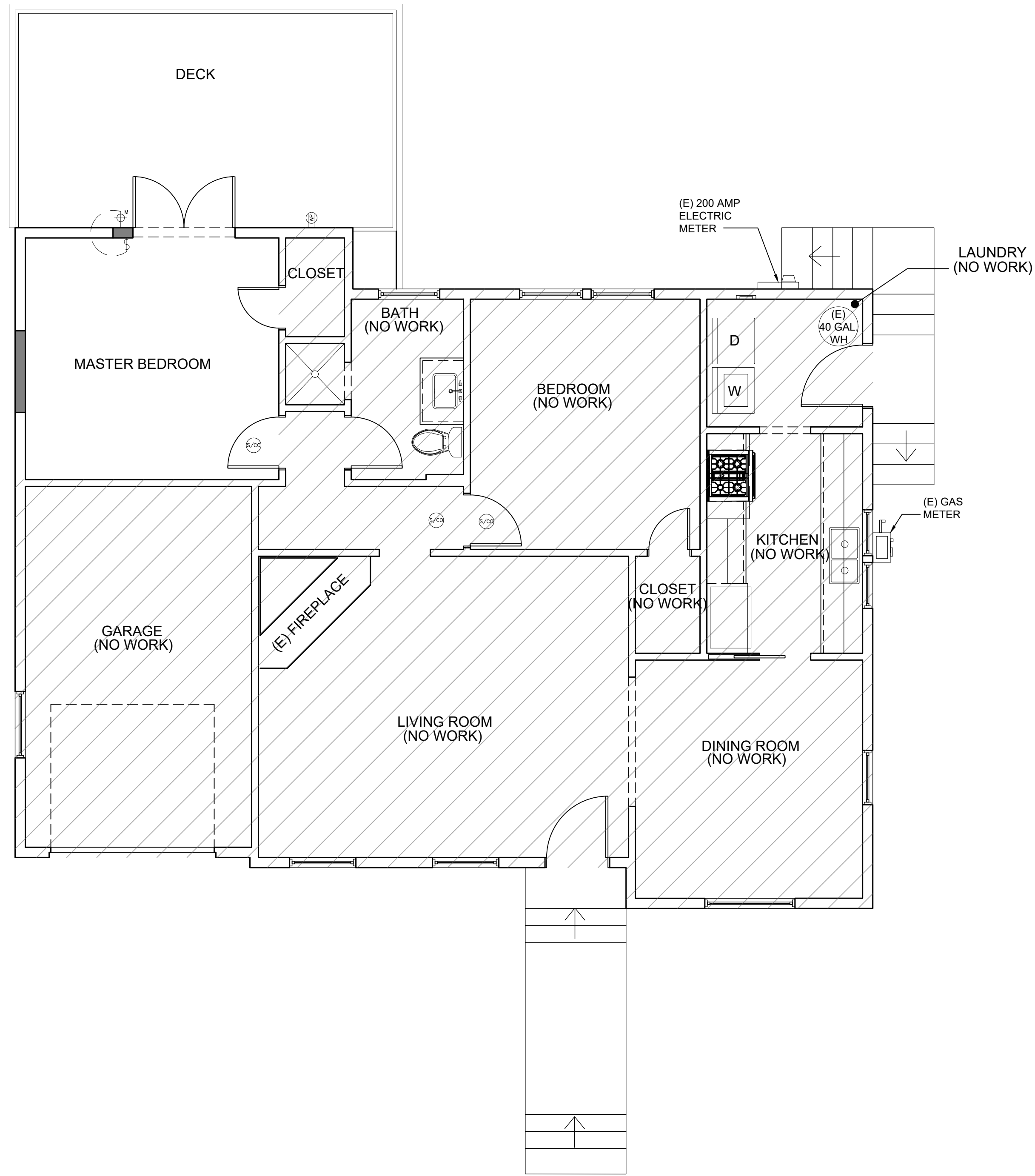
SHEET SCALE: AS NOTED
DRAWN BY: AR
EMS PROJECT NUMBER:

SHEET NAME:
**PROPOSED
SECTIONS**

SHEET NUMBER:

A-8.0

PLAN SCALE
1/4" = 1'-0"



NOTES

ELECTRICAL LEGEND	
	RECESSED CAN
	FLUSH MOUNT LIGHT
	WP RECESSED CAN
	FAN/LIGHT COMBO
	VENT/FAN 50 CFM
	WALL SCONCE
	WALL MOUNTED LIGHT FIXTURE W/ DAYLIGHT MOTION SENSOR
	PENDANT LIGHT
	FOUR WAY SWITCH
	THREE WAY SWITCH
	SINGLE POLE SWITCH
	DIMMER SWITCH
	MANUALLY ON OCCUPANCY SENSOR
	OUTLET
	WP OUTLET
	GFCI OUTLET
	SWITCHED OUTLET
	HOSE BIBB
	GAS CONNECTION
	CEILING FAN
	SMOKE DETECTOR/CARBON MONOXIDE ALARM
	UNDER-COUNTER LIGHTING

**E C O
M I N D E D
S O L U T I O N S**

LICENSE NUMBER: B-948204



DESIGNED BY: Dave Estinger

Signature: _____

9530 PADGETT STREET, SUITE 109
SAN DIEGO, CA 92126

TEL: (858) 779 - 1225
FAX: (858) 779 - 1054
WWW.ECOMINDEDSOLUTIONS.COM

NEAGLEY
DEN ADDITION
2747 DALE STREET
SAN DIEGO, CA 92104

DESCRIPTION	DATE
AS-BUILTS	03.25.2020
CONCEPT A	04.30.2020
ESTIMATING SET	07.08.2020

SHEET SCALE: AS NOTED
DRAWN BY: AR
EMS PROJECT NUMBER:

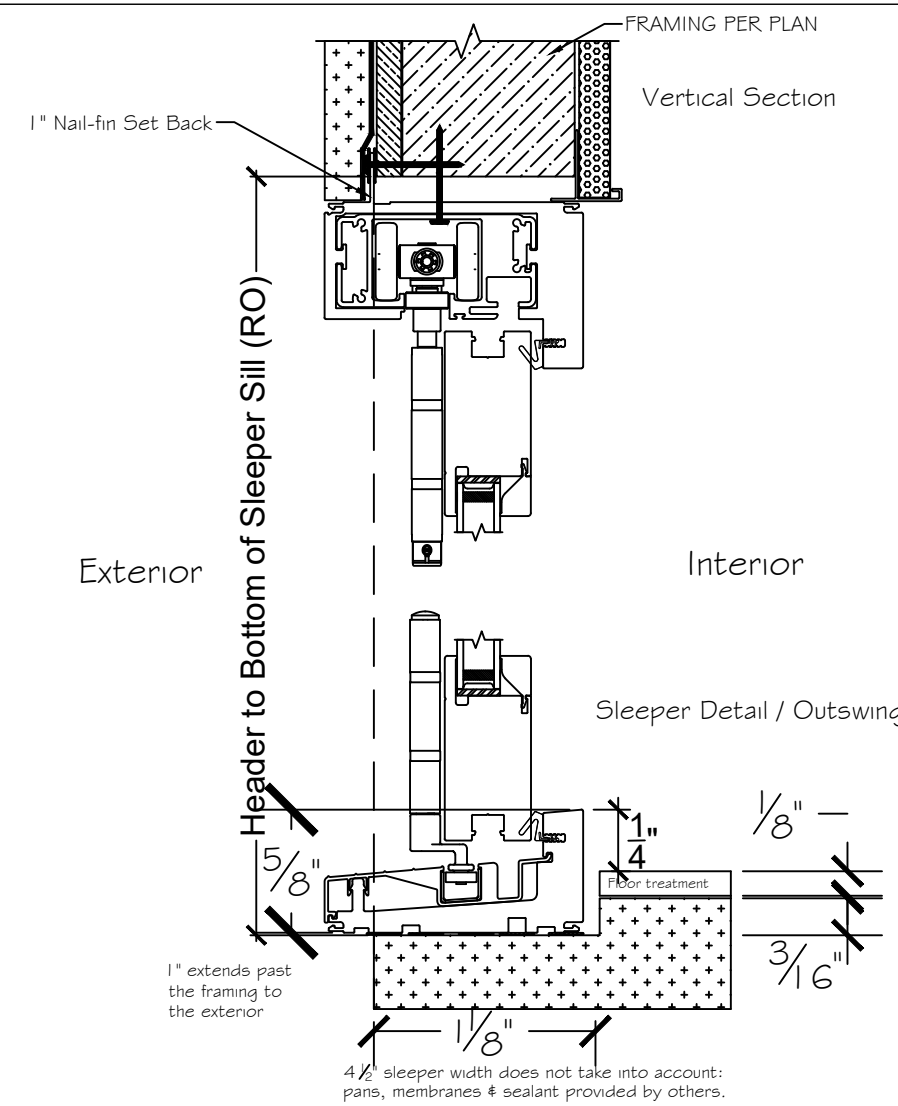
SHEET NAME:
**ELECTRICAL
PLANS**

SHEET NUMBER:

A-10.1

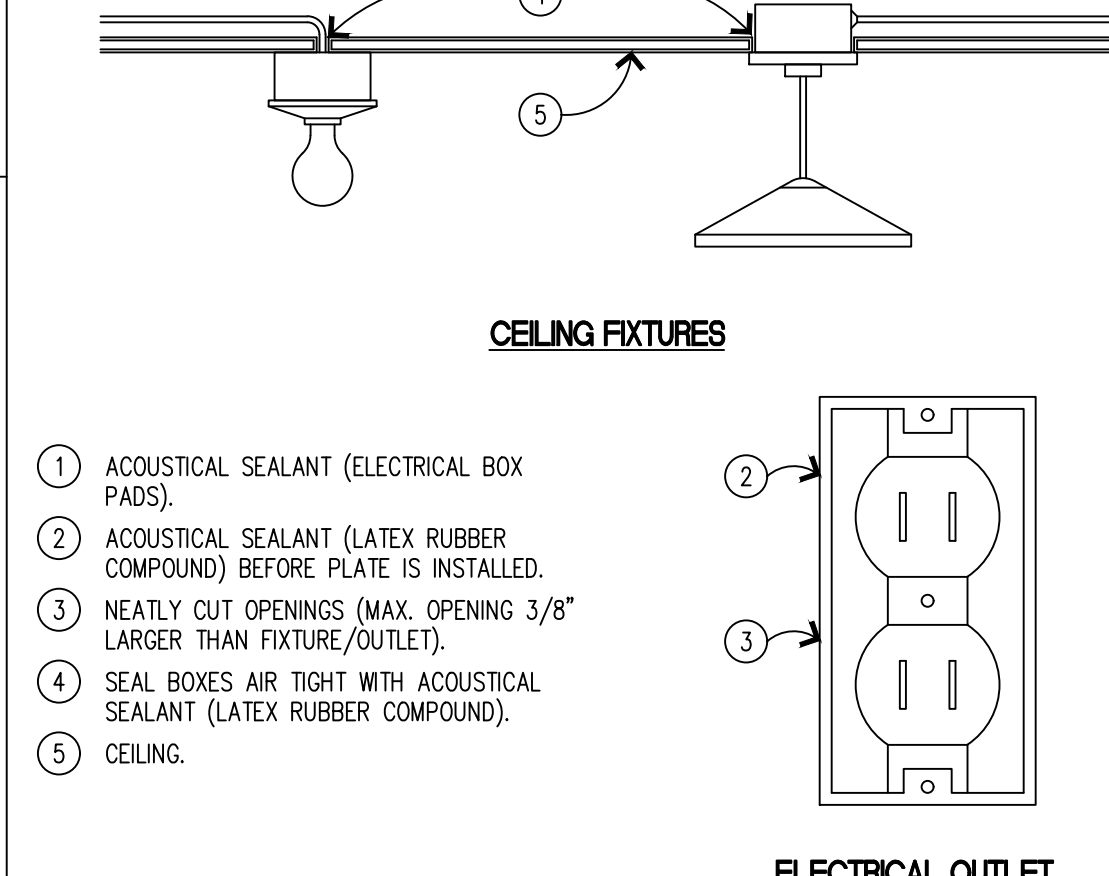
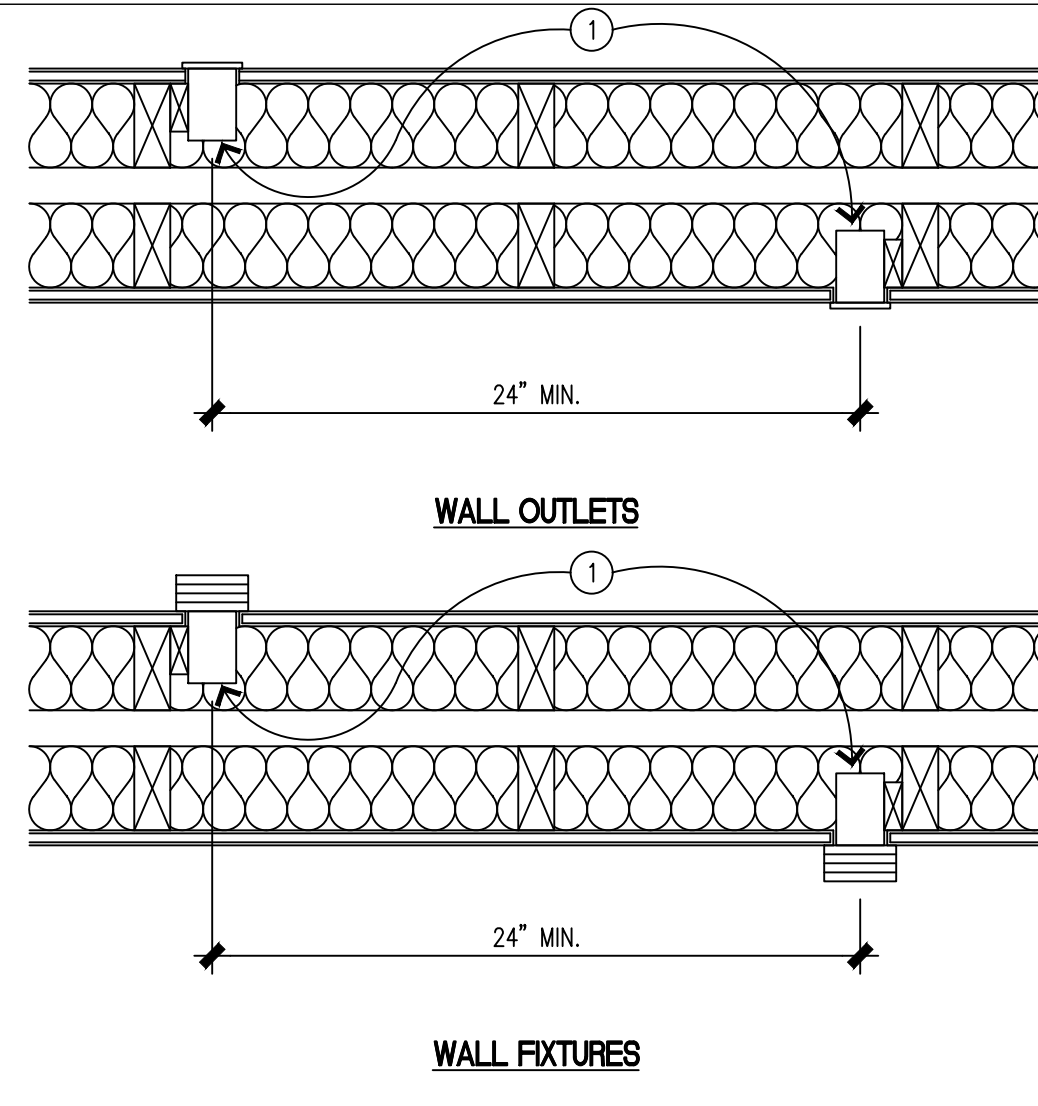
UPPER LEVEL & BASEMENT ELECTRICAL PLAN

PLAN SCALE
1/4" = 1' - 0"



BI-FOLD DOOR SECTION

13

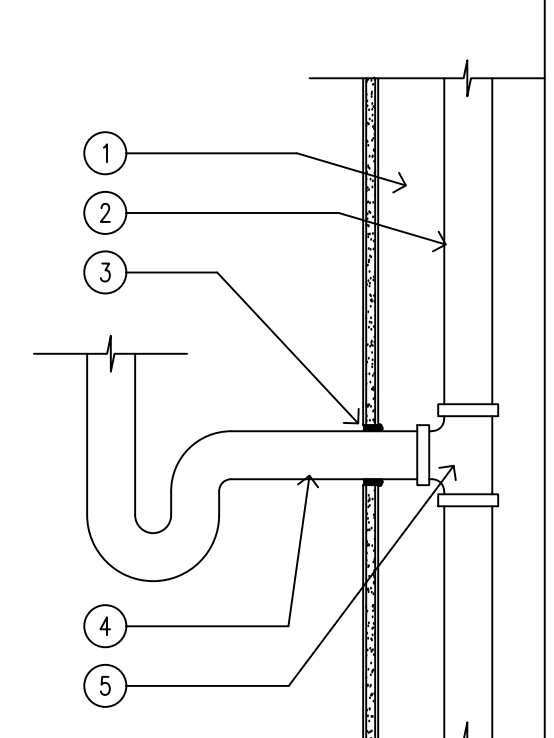


ELECTRICAL PENETRATIONS

NO SCALE

10

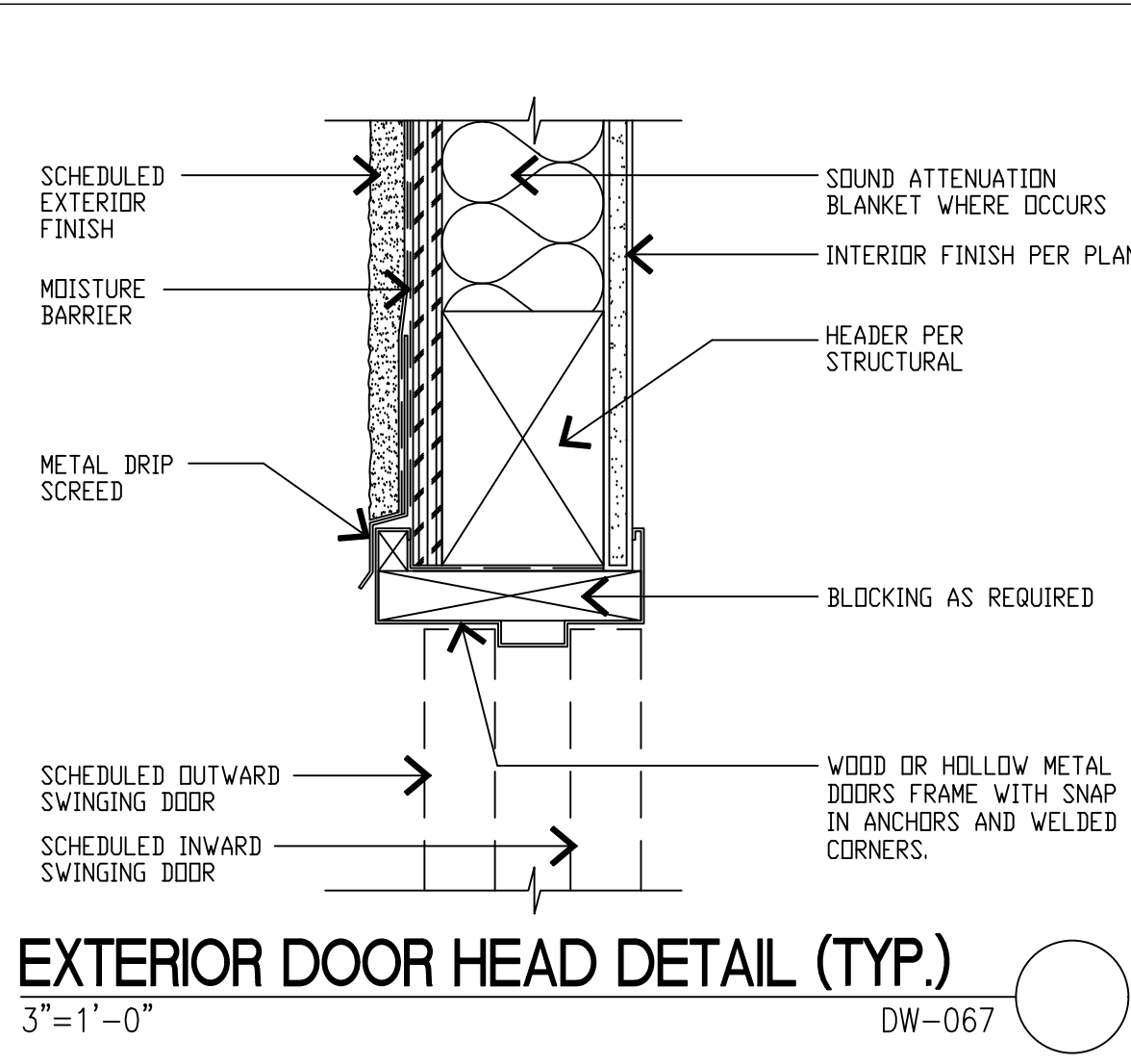
- 1 FIRE RATED STUD WALL PER PLAN
- 2 CAST IRON PIPING (WHERE USED). VERIFY WITH PLUMBING, MECHANICAL SPECIFICATIONS.
- 3 TIGHTLY SEALED WITH APPROVED JOINT COMPOUND (USG DURABOND OR APPROVED EQUAL) TYPICAL AROUND PENETRATIONS.
- 4 METAL TO BE UP TO INCLUDING TRAP OR A 24" MINIMUM, WHICHEVER IS LESS.
- 5 METAL FITTING



PIPING PENETRATION

P-001

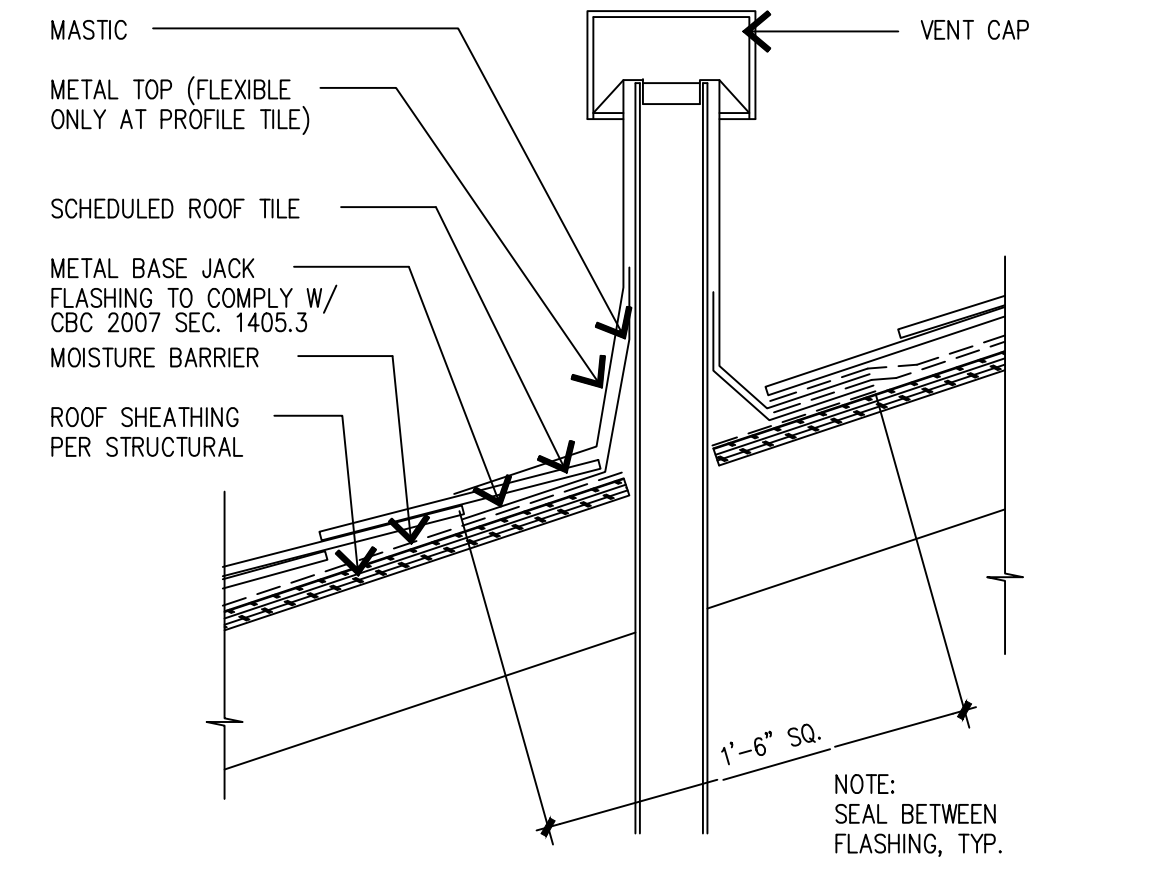
11



EXTERIOR DOOR HEAD DETAIL (TYP.)

3"=1'-0"

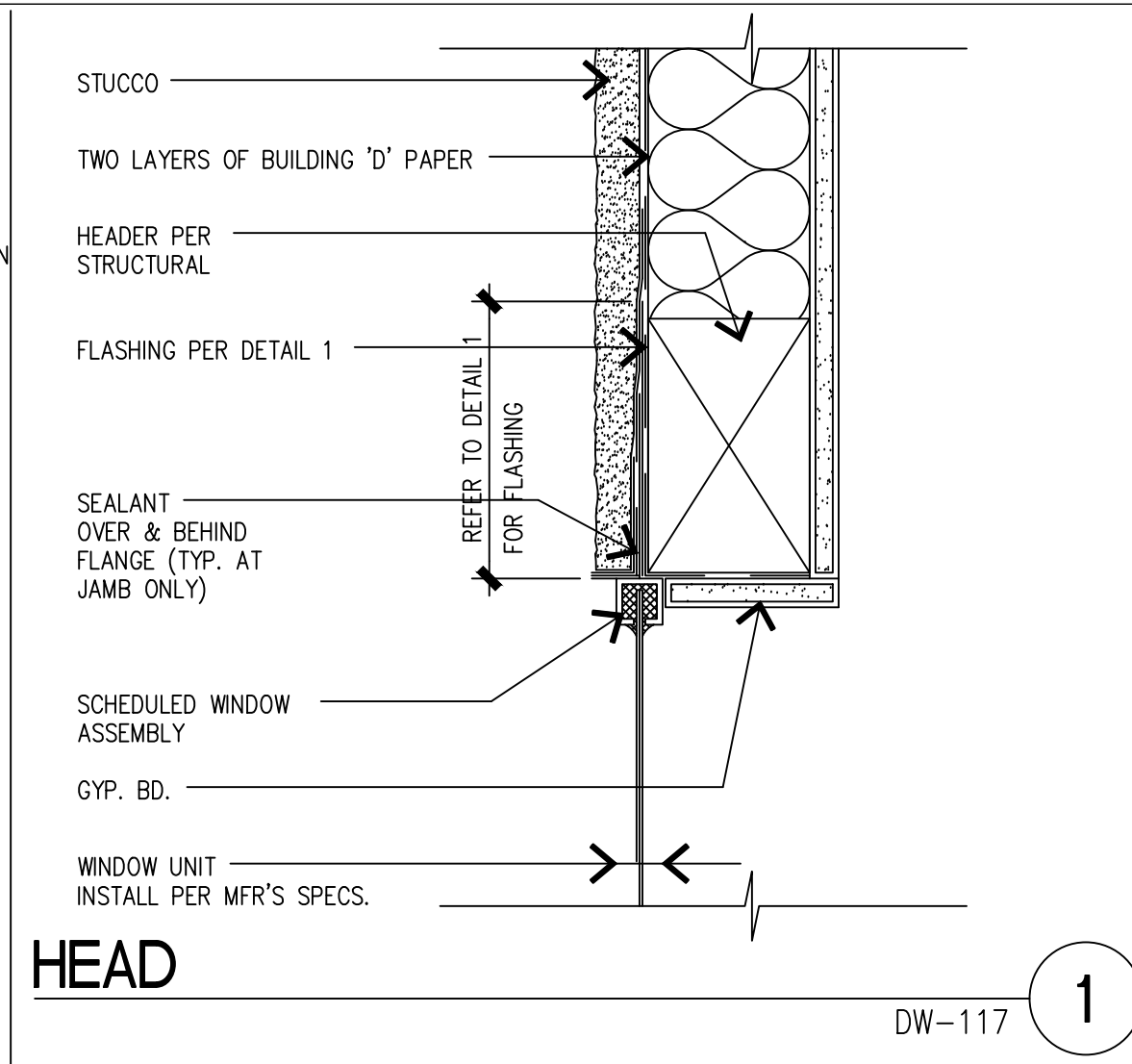
DW-067



PIPE PENETRATION

RF-011

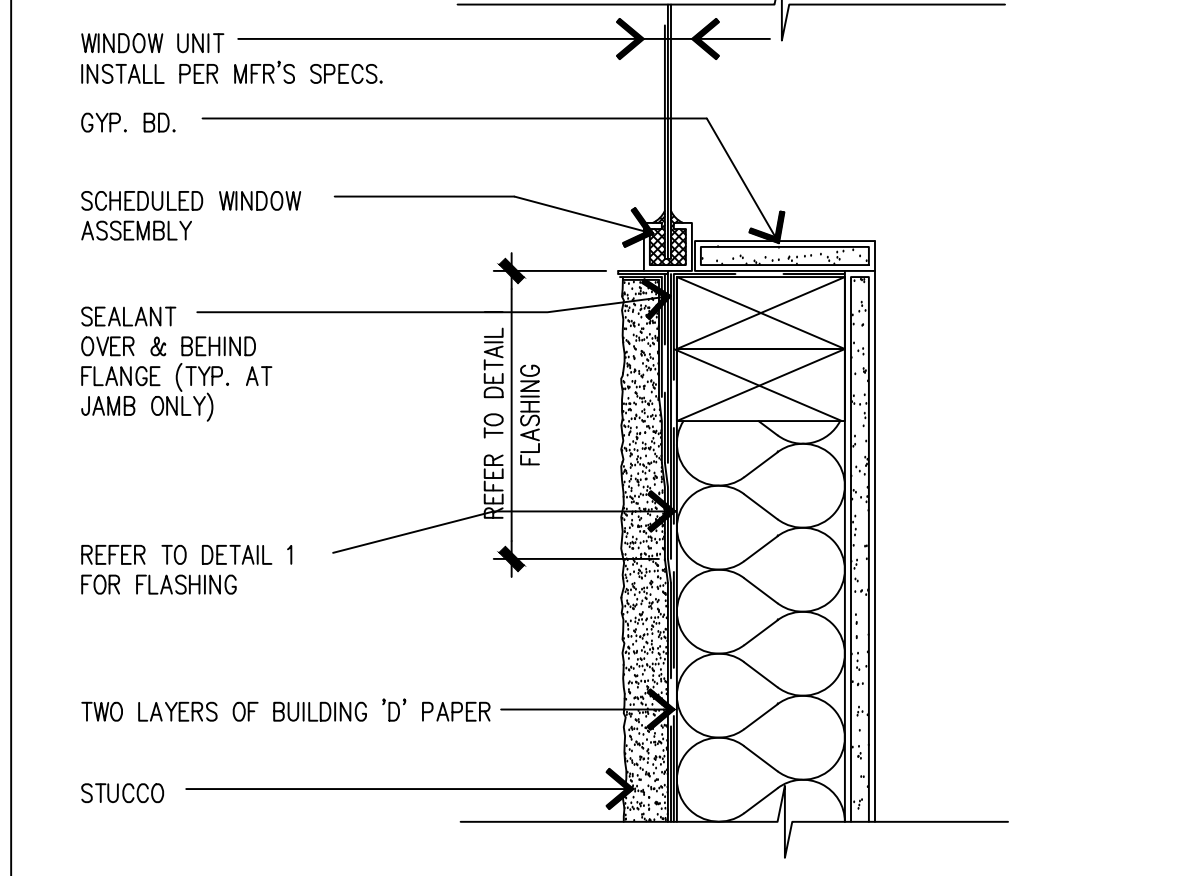
6



HEAD

DW-117

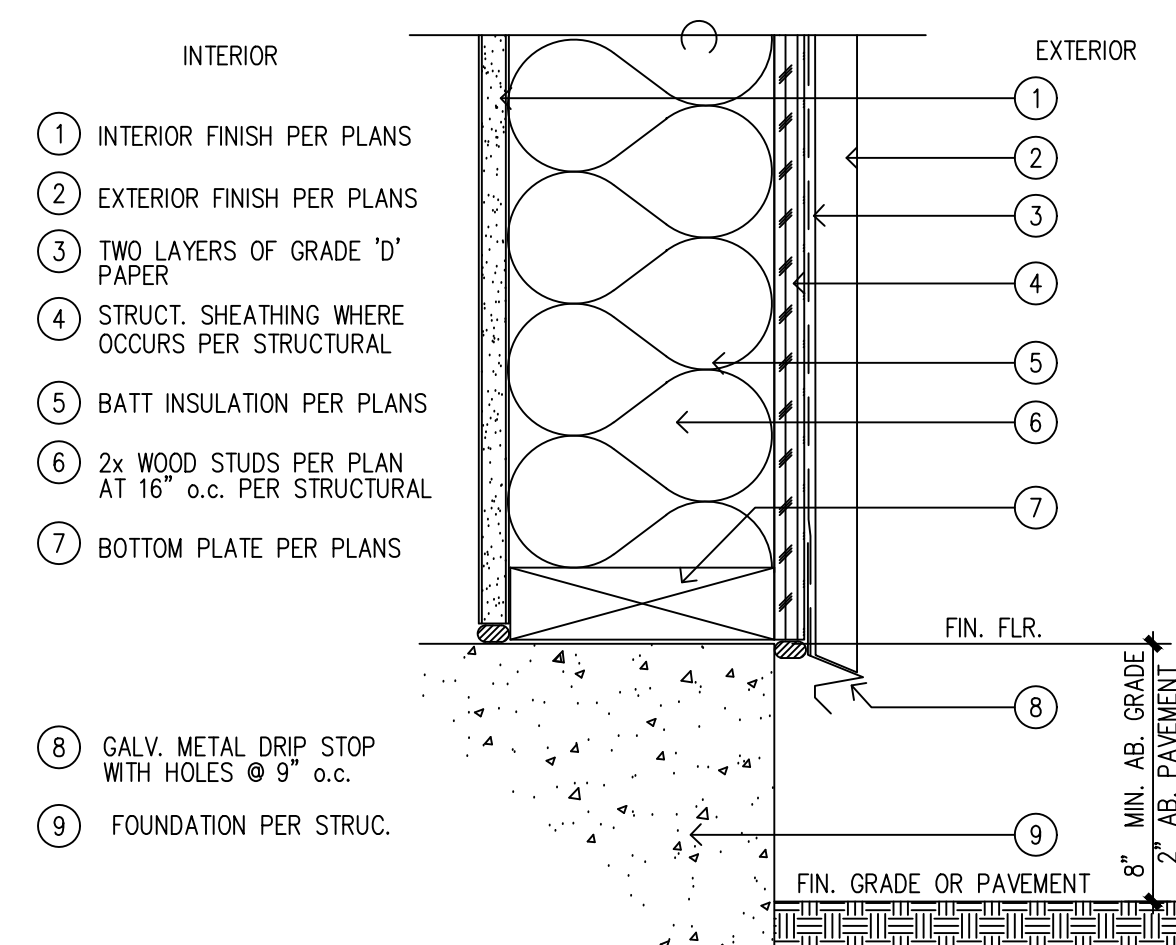
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SILL / JAMB (SIM.)

DW-116

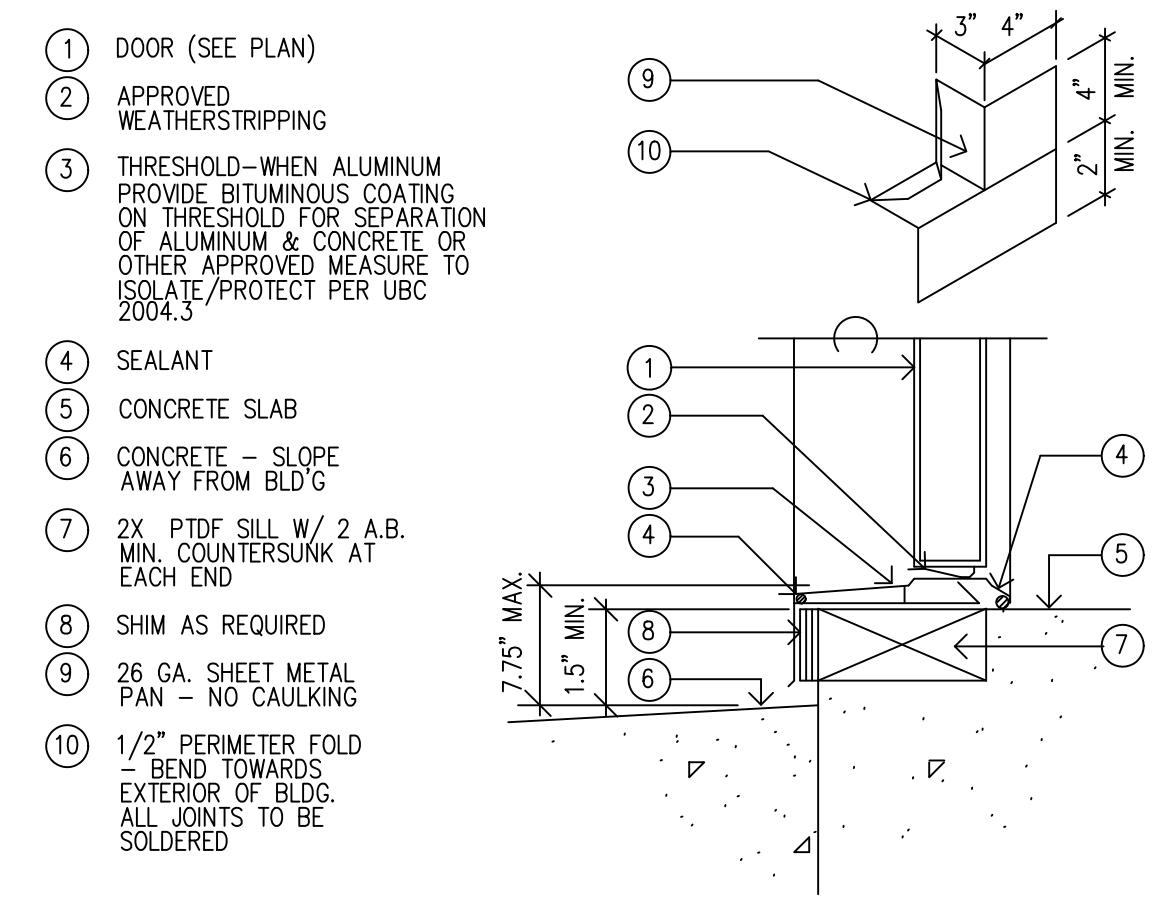
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WEEP SCREED

012

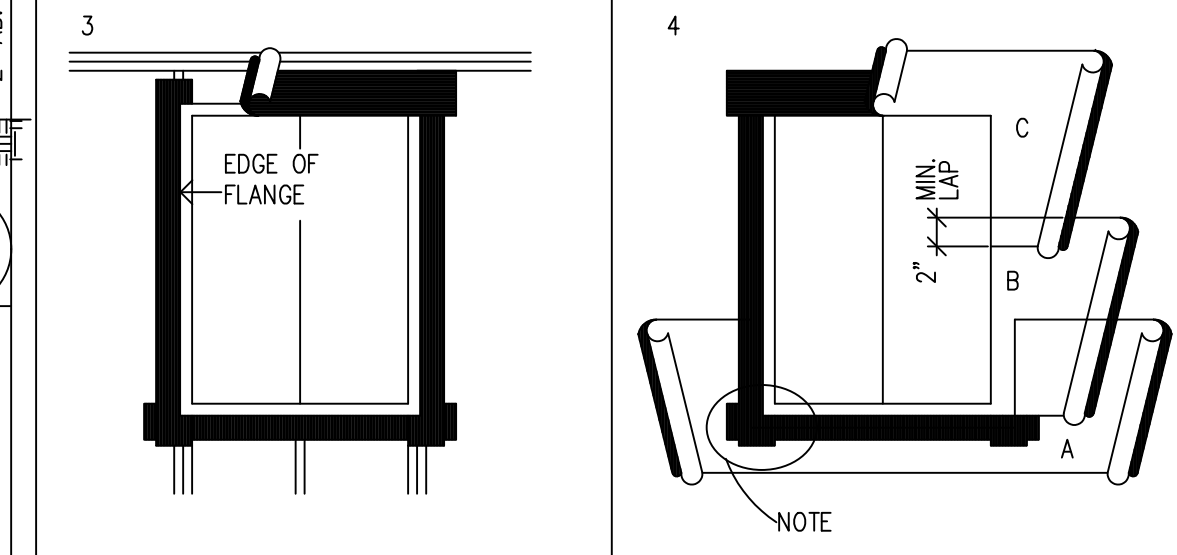
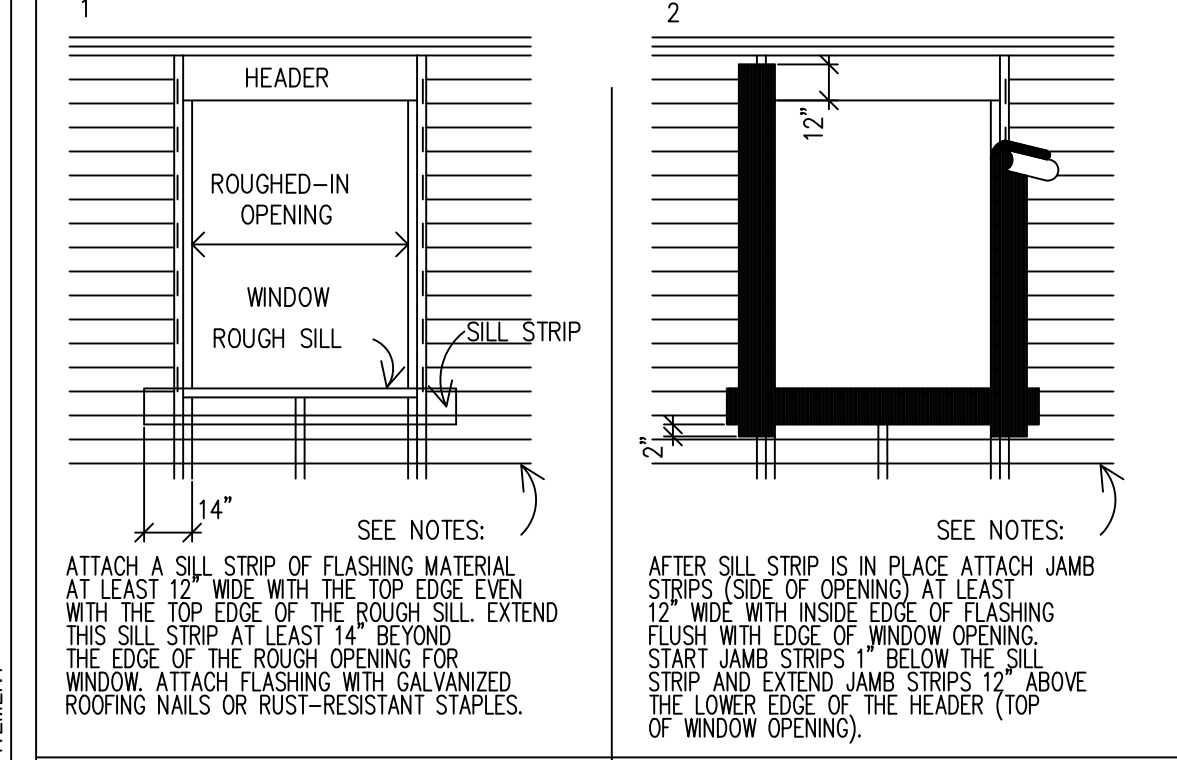
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THRESHOLD @ ENTRY DOOR

DW-125

8



APPLY A CONTINUOUS BEAD OF SEALANT TO THE BACK SURFACES OF THE WINDOW FLANGE. THEN PLACE THE WINDOW INTO THE ROUGH OPENING WITH FLANGES OUTER. AFTER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING AT LEAST 12" WIDE.

NOTES: SECTION 1402.2, UNIFORM BUILDING CODE CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER PROOF. SINCE I.B.C. DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE MOSTOP FLASHING BY FORTIFIBER CORP. OR EQUAL. WHENEVER POSSIBLE FOR FLASHING MATERIAL, CALK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.

26 GA. G.I. FLASHING REQUIRED AS SHOWN IN OTHER WINDOW DETAILS. TO BE INSTALLED BY SHEET METAL CONTRACTOR.

LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER OR FELT BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICE NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER WIRE BACKING.

SCALE: 1/2"=1'-0"

WINDOW FLASHING

NOT TO SCALE

DW-1000

4

DESIGNED BY: Dave Eslinger

Signature: _____

9466 BLACK MOUNTAIN RD, SUITE 210

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WWW.ECOMINDEDSOLUTIONS.COM

LEWISON - GERMAN
INTERIOR REMODEL
2302 MONTCLAIR ST
SAN DIEGO, CA 92104

DESCRIPTION	DATE
AS-BUILTS	03.25.2020
CONCEPT A	04.30.2020
ESTIMATING SET	07.08.2020

SHEET SCALE: AS NOTED
DRAWN BY:
EMS PROJECT NUMBER:

SHEET NAME:
ARCH
DETAILS

SHEET NUMBER:

AD.1